

## **IV. SPRINGVALE DESIGN GUIDELINES**

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## VI. SPRINGVALE DESIGN GUIDELINES

### A) INTRODUCTION

#### 1. Purpose/Intent

The purpose of design guidelines to provide a tool for Springvale to preserve the village character and respect its sense of history for generations to come. These standards are put in place to assure that new development is designed and built in a manner compatible with the character of the Village in terms of scale and aesthetic/visual effect. They are meant to lead to the construction and layout of buildings that are architecturally appropriate to their surroundings and to the village, by helping property owners, developers, contractors and other professionals understand the community values which their designs must satisfy to be acceptable to the Town.

#### 2. Creating Restrictions for the Village

The aesthetic standards or criteria within these guidelines are certainly restrictive to private owners, but it is important to remember two things: (1) in the big picture, these restrictions are being placed on only a small portion of the Town of Sanford, while there are other parts of town where development that is not Village appropriate can occur; and (2) there are numerous benefits to regulating design within the village, from maintaining property values to enhancing economic development, that make the case for adopting these guidelines for the Village.

#### 3. Other Performance Standards/Guidelines

The focus of the design guidelines is to affect the visual and aesthetic character of Springvale Village, as related to the architecture and site layout/design of Village properties. This does not encompass all elements of site review. The Town's Site Plan Review process (within the Zoning Ordinance) covers other performance standards such as traffic, utilities, environmental impacts, etc, pertaining to non-residential development.

**Village character is affected by changes in both the public realm and the private realm:**

- ♦ Character in the public realm is addressed through the design of roadways, community buildings, parks, etc. (*in the Village Plan*)
- ♦ Character in the private realm is addressed through the establishment of guidelines/ordinances that target *new development* (*Village Design Guidelines*), and

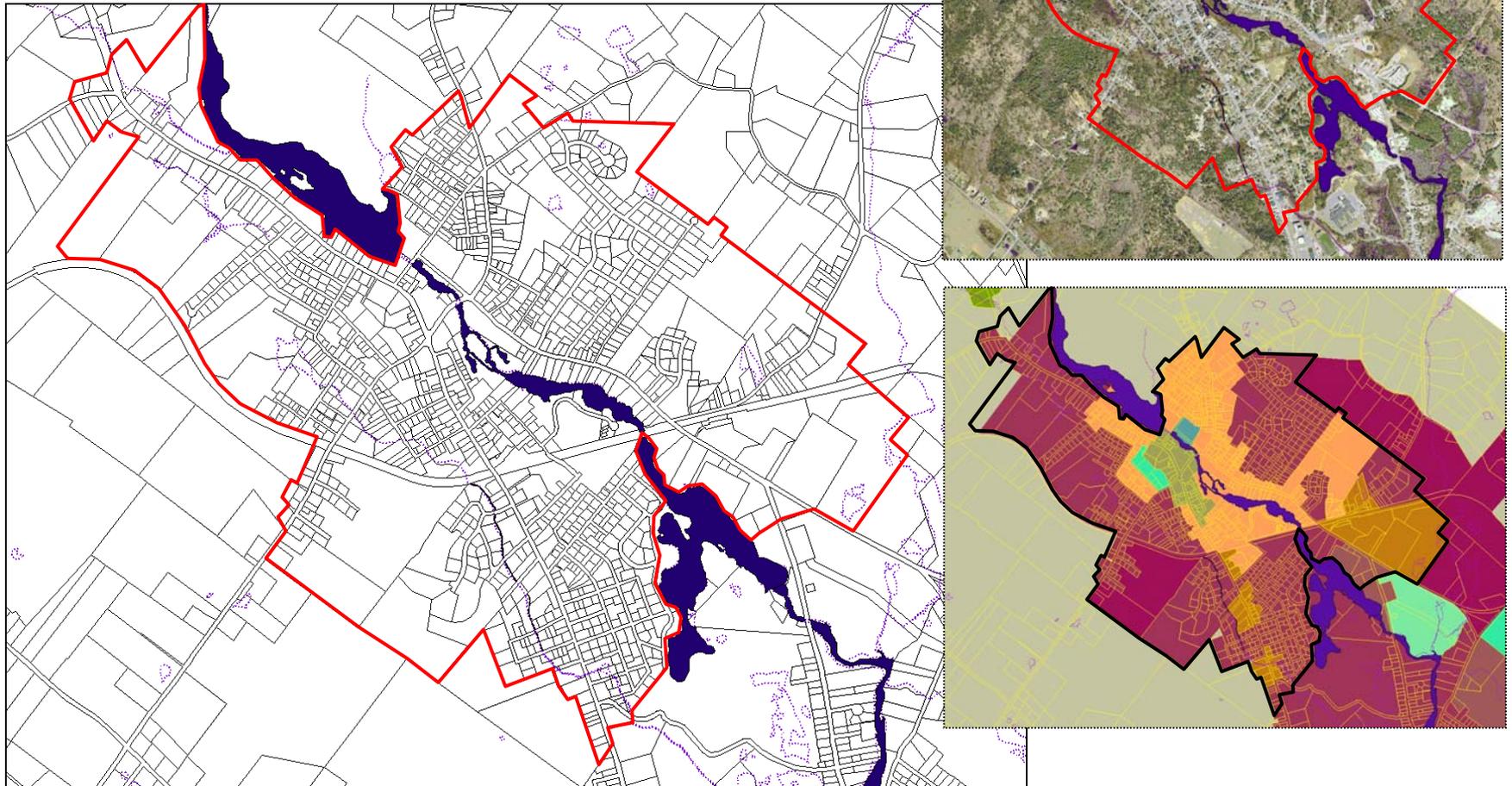
Through the creation of public programs & funding that encourage & support improvements to *existing development*

**What Springvale's Guidelines Encompass:**

- ♦ Residential
- ♦ Non-Residential
- ♦ New Development
- ♦ Renovations/Alterations to Existing Buildings

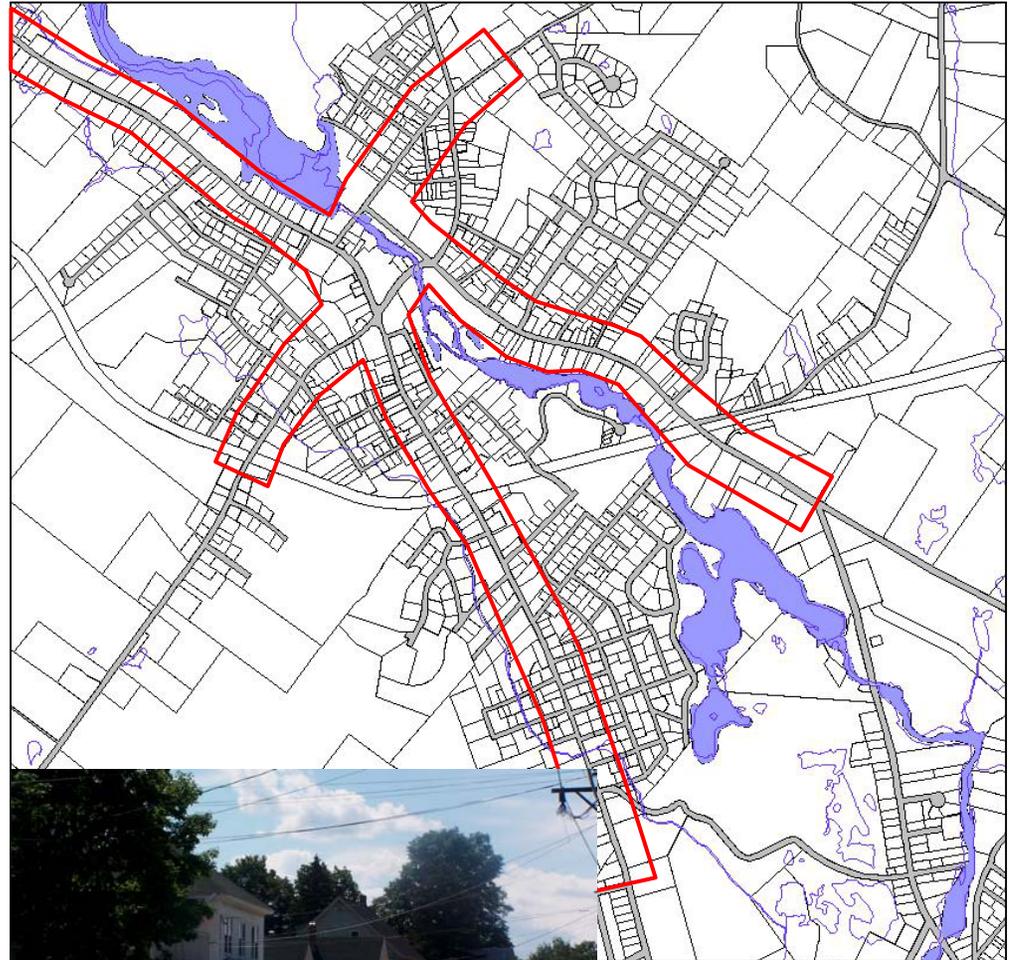
## B) DESIGN GUIDELINES DISTRICT

A proposed “district” is shown below, the area in which the design guidelines should apply to new development. This area is based roughly upon the existing Village zones; this district would work either as an overlay strictly for the design guidelines, or could serve as a Village Zone (consolidating the current zones into a single zone) with the appropriate changes to the current ordinance.



## Corridor Overlays

The main road corridors (right) entering into the Village, including Main Street, Pleasant Street, Payne Street, and Oak Street, are most likely to see non-residential development. These well-traveled routes are also the “face” of the Village most often seen by the public. These areas could have an additional corridor overlay to help ensure non-residential development is in keeping with the Village character.



## C) GENERAL GUIDELINES

### 1. Character

These design guidelines are a tool to help ensure future development, or future alterations to existing development, is in keeping with the Village character. Non-residential or residential development should **maintain or improve** the visual/aesthetic character of Springvale Village.

### 2. Context

A building's or site's context is important to gauging "appropriate" design. A building or site must conform to the criteria within the Village Design Guidelines and must not appear out of place compared to the abutting properties or buildings, or the surrounding neighborhood. This is an important review criteria to consider, even though it may be more difficult to quantify.

### 3. Existing Structures

These standards are also intended as guidelines for renovation or construction of existing buildings within the Village. The standards apply to developers of projects within the Village, individual property owners wanting to build or renovate a Village property, and all public sector institutions that are major Village landowners. (See also *Sanford Zoning Ordinance, Section 16.7.2, regarding Historic Resources.*)

For existing structures:

- ♦ Historic or original architectural elements (such as doors, windows, dormers, porches, balconies, and decorative features such as cornices, columns, pediments, and railings) should be retained to the extent possible. Alterations should be carried out in a way that does not damage or hide these elements. New architectural elements should match the old in design, color, texture, and, where possible, material; and

## DESIGN GUIDELINES COMPONENTS

Springvale's Design Guidelines include the following components for design review:

### Architecture

- ♦ Building Mass, Scale & Height
- ♦ Architectural Style/Character
- ♦ Architectural Details
- ♦ Roofs
- ♦ Street Façades
- ♦ Entrances
  - *Porches*
- ♦ Proportion & Spacing of Openings (Windows, Doors)
- ♦ Windows & Window Treatments
- ♦ Exterior Building Materials
  - *Paint & Exterior Colors*
- ♦ Accessory Structures
  - *Gas Station Canopies & Drive-throughs*
- ♦ Signage

### Site Features & Layout

- ♦ Setbacks & Building Placement
- ♦ Off-Street Parking
- ♦ Site Features & Landscaping
  - *Pedestrian Walkways*
  - *Fences*
  - *Screening & Landscaping*
  - *Exterior Lighting*

- ♦ Architectural elements that falsify or confuse the history of a building should be avoided. Replacement of original elements should be substantiated by documentary and physical evidence. Building owners should find early photographs of their building to best identify its true historic style. These photographs can provide visual evidence of existing or pre-existing architectural elements. It may also be possible to find physical evidence of an outline on the building surface that provides clues to original or important features.

Careful study of other buildings built in the same period can provide guidance for appropriate historic architecture. For repair of historic buildings, architectural salvage yards can be a good source for period architectural elements. Reproductions can also be produced or purchased. Property owners are encouraged to consult with the Sanford Historical Committee or Planning Office about the building and proposed modifications.



### Additions

Historically, a house was expanded incrementally as a family's space requirements grew. Over several generations, additions were added in a manner that was consistent with what had come before but reflective of its own period. Additions should be designed so that the character of the existing building is not radically changed, obscured, damaged, destroyed, or rendered subordinate to the addition.

Additions should:

- ♦ be differentiated from the existing building (i.e., set back or off-set from the existing wall plane);
- ♦ not obstruct the visual integrity of the original structure;
- ♦ be in harmony with the original in size, scale, style and materials; and
- ♦ be located where least visible from public view.

### **Demolition & Replacement of existing structures**

*Demolition or replacement of a building or structure with architectural, historic or neighborhood significance is strongly discouraged. When such a structure is being considered for demolition or replacement, the Town should make it a priority to negotiate with the owner of the property and with any other parties in an effort to find a means of preserving the property. Such negotiations may include relocation to a new site, recommendation for a historic easement, or inducements to interested third parties to purchase the property for the purpose of preserving it.*

*Where a new building or structure will replace a building or structure to be demolished or removed, the Town's permission for demolition or removal should be conditional upon approval of the new structure by the Town.*

*For structures to be demolished or removed, its documentation is strongly encouraged. This should include elevations, details of specific notable architectural features, thorough measured drawings and photographs, in accordance with procedures established by the Historic American Building Survey.*

*Suggested resources for more on historic building demolition restrictions are the Historic District Guidelines for Concord, Massachusetts, or the Design Review Ordinance for Freeport, Maine.*

## D) GUIDELINES

### 1. Architecture

- 1.1 Building Mass, Scale & Height
- 1.2 Architectural Style/Character
- 1.3 Architectural Details
- 1.4 Roofs
- 1.5 Street Façades
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  - ◆ *Porches*
- 1.7 Proportion & Spacing of Openings (Windows, Doors)
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- 1.10 Accessory Structures
  - ◆ *Gas Station Canopies & Drive-throughs*
- 1.11 Signage

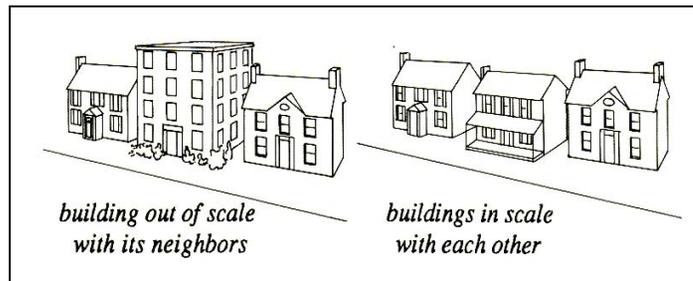
### 2. Site Features & Layout

- 2.1 Setbacks & Building Placement
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  - ◆ *Pedestrian Walkways*
  - ◆ *Fences*
  - ◆ *Screening & Landscaping*
  - ◆ *Exterior Lighting*

## 1. ARCHITECTURE

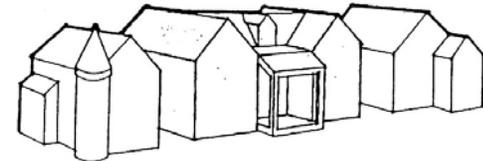
### 1.1 Building Mass, Scale & Height

- ◆ New buildings or additions to existing buildings should not be visibly out of scale with neighboring buildings, or otherwise out of scale with the Village.
  - Building heights shall be compatible with adjacent structures and not be markedly lower or higher.
  - The size or bulk of the building should conform with those nearby; larger buildings should be “broken down” architecturally to match the scale, rhythm and proportion of adjacent structures (see illustrations).

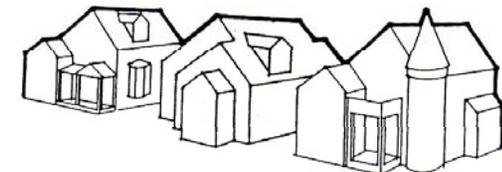
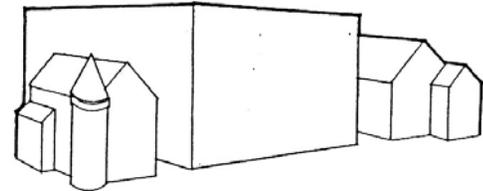


- Two to three story buildings are more traditional in downtowns and village centers, particularly serving mixed-uses, and are encouraged in the Village center.
- ◆ The following features should be considered as potential elements to help break down building scale:
  - Projecting bays, projecting or recessed balconies, and gables & dormers, judiciously utilized to provide interest, individuality, and appropriate scale to new structures.

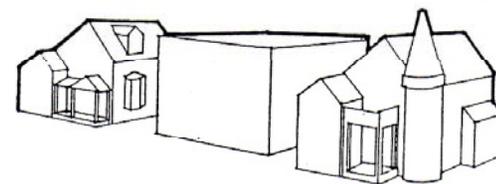
Consider—Relating the size and proportions of new structures to the scale of adjacent buildings. Although much larger than its neighbors in terms of square footage, the building shown maintains the same scale and rhythm as the existing buildings.



Avoid—Buildings that in height, width, or massing violate the existing scale of the area. The new building shown here disrupts the scale and rhythm of the streetscape, although it might be appropriate in a different location.



Avoid—Single, monolithic forms that are not relieved by variations in massing. Boxlike facades and forms are intrusive when placed in a streetscape of older buildings that have varied massing and facade articulation.



- Distinct and multiple architectural roof forms, clearly pronounced eaves, distinct parapet designs and cornice treatments.
- Porches, covered walkways, trellises or architectural awnings that provide varying degrees of shade and sun at ground level.

There is a range of scale of non-residential buildings in the Village. There are several larger scale, two to three story buildings in the Nasson Commons block (including the Key Bank building), while several of the newer commercial buildings are one story (such as the florist, hardware store, and other buildings at "Colonial Village"). Developers should be encouraged to maximize the market potential of sites by incorporating 1 ½, 2 or 3 story buildings, more traditional in scale for the Village center.



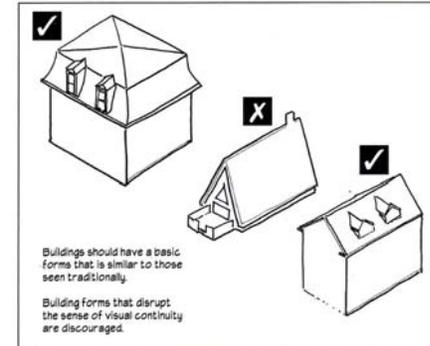
## 1.2 Architectural Style/Character

- ◆ Although there is some variation in architectural styles in the Village, new development should be done in a **traditional New England village architectural style** (see examples on the following pages).
- ◆ Building designs and treatments that express corporate or franchise (trademark) identity shall not take precedence over these design guidelines; such development shall conform to the historic and architectural considerations in these guidelines. Corporate or franchise developments shall be compatible with the visual character of the Village.

The building mass of Village Green and Springvale Commons buildings is broken down with the use of gables, the tower, and other architectural elements.



Buildings with unusual or non-traditional architectural forms detract from Springvale's character.



***Architectural Style/Character***

*These are several of the buildings in the Village exemplify the architectural character that makes Springvale a special place.*



*Architectural Style/Character*



*New and redeveloped structures that demonstrate the type of architectural character appropriate to Springvale. To the left, multifamily housing; below, offices.*



*Modern styles of architecture (left), including "strip" development (below), would detract from the Village character. The forms, massing, and architectural details of buildings such as these are not appropriate to Springvale.*



*Below: More recent development in the Village that has demonstrated an appropriate architectural style that contributes positively to the Village character.*



### 1.3 Architectural Details

- ♦ Craftsmanship, ornamentation, and architectural details are strongly encouraged. Architectural details include the design features of such elements as doors, windows, dormers, porches and balconies, and decorative details such as cornices, columns, pediments, and railings, and similar features. Large or small, they play a key role in defining the style and character of a building and so deserve particular attention and respect.
- ♦ Detailing that relates to, and reflects the character of the area is encouraged. Vernacular architectural features help tie together the character of the village.

*Below, left: Architectural details, from shutters and window styles to cupolas, dormers, and trim, give buildings character.*

*Below, right: A well-maintained building with good proportion and scale, but lacking architectural details to give it a unique character and style.*

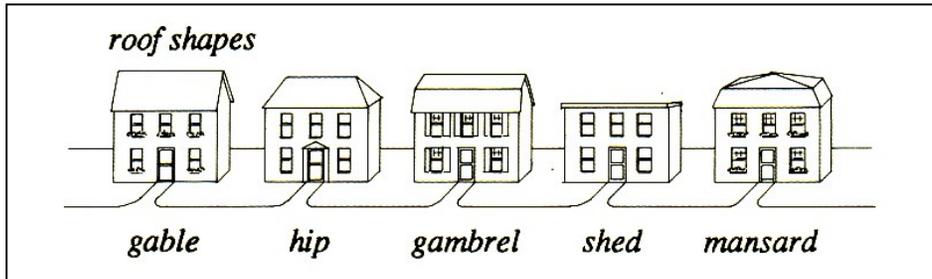


*Residential and non-residential examples of the kind of architectural detail appropriate to the Village. Details such as these could be used to inform the design of new buildings.*

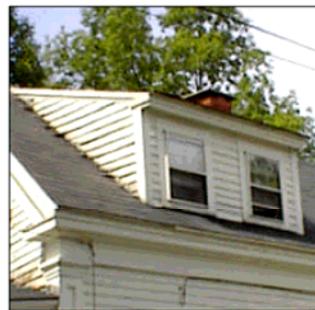


### 1.4 Roofs

- ◆ Sloped gable or hip roofs are most appropriate for Springvale village. Gambrel, shed, mansard, “false mansard”, or flat roofs are not appropriate.



- ◆ The angle of a sloped roof should be typical of traditional New England architecture (a 12:12 pitch). A sloped roof with a flattened pitch is not appropriate.
- ◆ Dormers are an effective way to break up the mass of a sloped roof and add architectural interest, and are a typical feature of New England architecture. They should be of an appropriate (small) proportion and size relative to the building.



A gable dormer (left) and shed dormer (right). Both are traditional dormer styles.

The diagram shows three roof types. The first is a gable roof with a checkmark. The second is a flat roof with a small mansard-like section, marked with an 'X'. The third is a gable roof with a checkmark. Text below reads: "Sloping roofs, such as gable and hip, are appropriate. Fake mansards that disrupt the visual continuity of the street are discouraged."

***Inappropriate roof types for the Village:***

A photograph of a building with a flat roof and a small mansard-like section. The building is dark-colored with a sign that says "Kopy". A car is parked in front.

*A flat roof with a "false mansard".*

A photograph of a building with a very flat, low-pitched roof. The building is blue and white. A car is parked in front.

*A sloped roof that is too flat.*

- ◆ Where appropriate along Main Street or in the Village center, a flat roof may be permissible if the building is multi-story and of traditional downtown architecture (retail/pedestrian-oriented first floor, differentiated upper façade, articulated parapet & decorative cornice). Existing buildings of this style should be maintained for architectural (and/or historic) integrity.

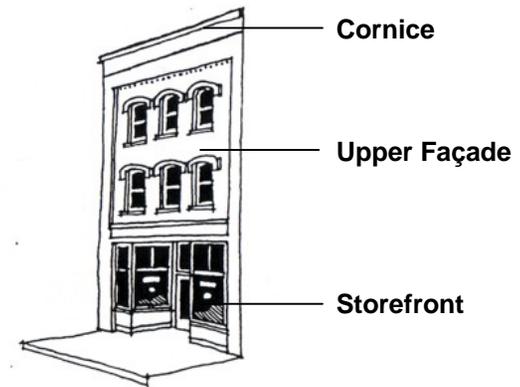
### 1.5 Street Façades

- ◆ A building's front façade, particularly the main entrance, should be oriented to the primary street frontage (e.g. Main Street). This applies to both residential and non-residential buildings. If the main entrance cannot be located along the primary street frontage, the front façade must be appropriately designed to contribute to the pedestrian friendly character of the Village.
- ◆ For buildings fronting on more than one street (a corner lot), the front façade should be oriented toward the primary street frontage, while a secondary entrance or other appropriate façade treatment is strongly encouraged for the side street.



Residential and non-residential examples of appropriate street-facing façades. The building on the right has a primary entrance on another side, but the front façade is appropriately designed for Main Street.

Architectural features of a traditional downtown façade.



A traditional, multi-story downtown building with a gable roof instead of a flat roof.



Avoid—Introducing incompatible façade patterns that upset the rhythm of openings established in surrounding structures. Glass walls and window and door shapes and locations shown in the example are disrespectful to the adjoining buildings.



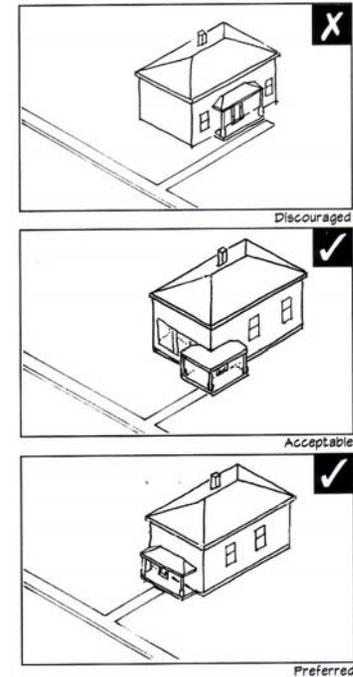
### 1.6 Entrances

- ◆ Principal building entrances shall be accentuated, and easily visible from the street, to contribute to the pedestrian friendly character of the Village. This may be achieved through the design of the doorway and doorway architectural treatments, by recessing the entry, or by adding a porch or pediment for the front door providing shelter and enhancing the entrance.
- ◆ Service entrances and loading facilities should be located at the rear or side of structures and screened from public view. Where buildings face more than one public street, service and loading circulation may be located along secondary streets where appropriate. Where no off-street options are available, loading and service entrances located along public streets should occupy the minimum space necessary and be compatible with the other uses of the street, including pedestrian activities and retail development.



*Left: Architectural features accenting the doorway, such as a pediment and brackets, are an appropriate entrance treatment.*

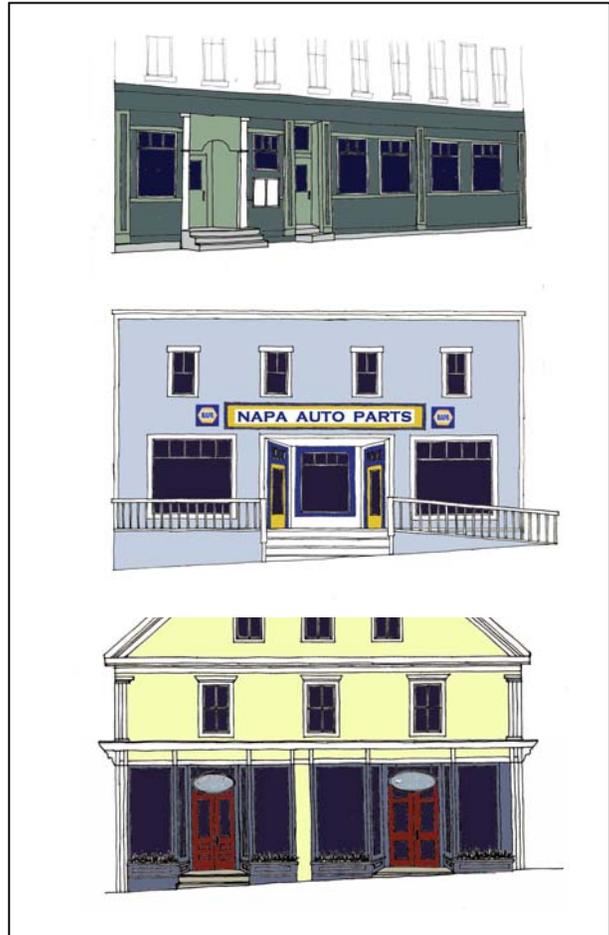
*Locating the principal entrance to face the street is preferred.*



*A traditional front entrance, well emphasized by architecture and design.*



*Entrances*



*Above, left: Buildings in Springvale that show the different ways architectural elements are used to accentuate entrances (both residential and non-residential examples). Above, right: Sketches that illustrate color and architectural elements for non-residential entrances.*

*Below, left: A building whose entrance does not front on the main street appears to have “turned its back” to the road and pedestrians. Below, right: Strong architectural features can reinforce an entrance.*



### Porches

- ◆ Size, proportions, style, detailing, decorations, and features such as columns and railings are important elements of a porch design. Whether on a residential or non-residential building, the design should be consistent with the architecture and scale of the rest of that building. Other porches found in the Village should provide visual guidance for appropriate architectural design and features.
- ◆ Decks (elevated, with rail) and patios should be located at the rear or side of a building, and if visible from a public way should be compatible visually with the design of the structure. Appropriate vegetative screening should be considered.



*A traditional wrap-around porch, with architectural detail and good proportion.*



*Porches and front entryways are an important design feature of neighborhood streets.*



### 1.7 Proportion & Spacing of Openings (Windows, Doors)

- ◆ Blank exterior walls without doors, windows, or other architectural features to break up a building's mass should be avoided. Street façades in particular should not be blank but have an appropriately rhythm of windows and doors.
- ◆ Windows and doors should be appropriately scaled, vertically oriented, and be placed in a regularly spaced pattern. Symmetry of openings on the street façade is traditional, though not essential.
- ◆ Where the interior layout or function of a building does not accommodate or require windows, the addition of false windows or other architectural elements may be an alternative. Also, the use of murals or plantings (trees & shrubs) for large blank façades may be an allowable alternative to adding windows or other architectural elements, however, the quality and subject of the mural should be carefully considered.



Left: No windows or architectural or landscaping treatment at street level, visually detracting and discouraging pedestrian activity. Right: Traditional window spacing and proportion for the Village.

Left: A traditional rhythm of openings, in scale with the building.

Right: A disrupted rhythm of openings, not well proportioned to the façade.



These façades have a rhythm of openings, but the size and spacing of the windows is out of scale with the buildings. The entrances are also under-emphasized.



### 1.8 Windows & Window Treatments

- ◆ Avoid modern window styles that are not compatible with traditional New England architecture.
- ◆ Windows should be square or vertical. Use divided panes to add scale to large window openings.
- ◆ The style of window should be consistent throughout the building or addition. Visual unity and harmony are usually achieved when the same window style and scale is used consistently on all visible facades.
- ◆ Shutters should reflect their original use. That is, their size should be such that they would cover the entire window if closed (arched windows should have arched shutters, etc.) Hang shutters so as to appear operable and base shutter dimensions on window dimensions. The slats should point up when shutters are open, and down when closed over the window.
- ◆ Awnings should not detract from the form of the building, or obscure its details. Traditional canvas awnings are encouraged, plastic or metal awnings are discouraged.



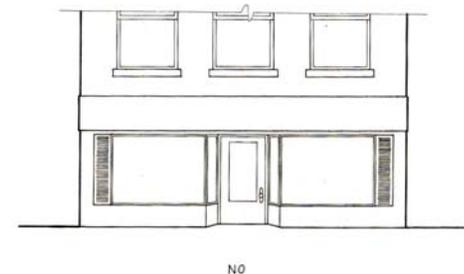
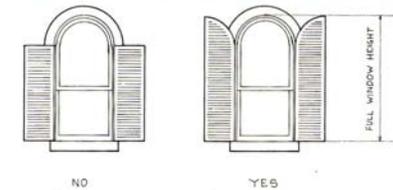
Left: A modern window style, less appropriate for the Village. Right: A traditional window style, appropriate for the Village.



Windows with traditional design and scale, including awnings for the first floor retail windows.



Shutters should be appropriate to the size and shape of the window.



### 1.9 Exterior Building Materials

- ◆ Traditional exterior building materials, including wood clapboard, native stone, or brick, are most appropriate and strongly encouraged.
- ◆ Concrete block or metal siding are not appropriate; the use of concrete should be restricted to foundations. Shingle siding (cottage style) and stucco are not traditional for Springvale and are discouraged.
- ◆ Synthetic or imitation materials (such as vinyl siding) may be acceptable if they replicate traditional materials. As other new materials are developed that are indistinguishable from natural or traditional products, they will be considered more favorably.

### Paint & Exterior Colors

- ◆ Traditional (New England) building colors are strongly encouraged (A, B). Bright or “electric” colors (C) are not suitable for siding or trim. Softer or muted colors, light or dark, tend to be more traditional. *(Many paint companies carry historic colors, and may offer assistance in choosing color, which may be a source of ideas when considering the exterior color palate.)* Matching colors with neighboring buildings is not necessarily encouraged, but choosing a color palate that does not clash with adjacent buildings should be considered.
- ◆ A well-selected color palate can greatly enhance a building’s character, in addition to architectural details (A, B). Appropriate accent colors should be chosen for the trim, doors, and other architectural elements.



Clapboard and brick are traditional building materials in the Village (below). Also, the use of stone (above) is seen throughout town.



### 1.10 Accessory Structures

- ◆ Accessory structures, for example a garage or shed, should be set back from street further than the front façade of the principal building so that that structure is more prominent.
- ◆ Adding trim, windows and other architectural details to accessory structures is strongly encouraged to bring them into scale and visual harmony with the principal building. For example, a garage might feature the same siding, color scheme and trim, even window style, as the principal building.



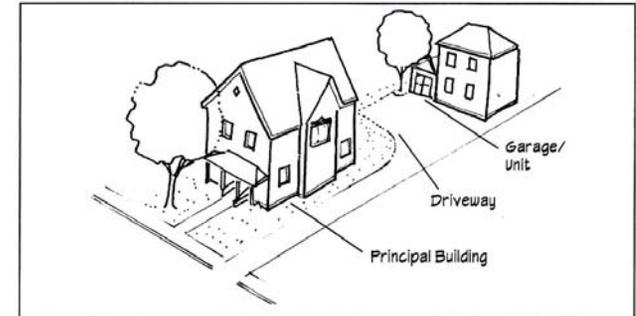
*Above: Even utility structures such as a pump station can have good architectural character.*



#### Gas Station Canopies & Drive-throughs

- ◆ New or replaced canopies over gas pumps should be visually sensitive to the neighborhood in color and design. Use of bright colors is discouraged. Canopy design is encouraged to be architecturally compatible with the principal building (if appropriate) and the preferred Village architectural character described in these guidelines.
- ◆ Canopies and drive-throughs should be aligned to the building, and sited to conform to all other setback and traffic circulation requirements.

*The traditional site layout: the primary structure (house or commercial building) close to the street, and the accessory structure set back further from the street.*



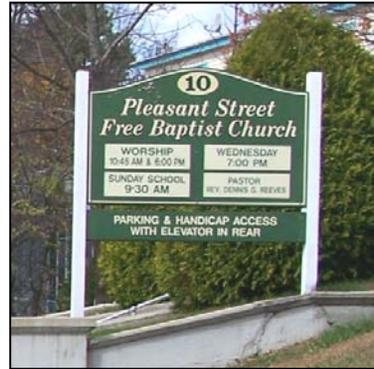
*A typical gas station canopy (left), brightly colored and not relating to local architectural character. Even a color change can begin to make such a prominent feature more visually compatible.*



### 1.11 Signage

See also sign provisions & permitting, Town of Sanford Zoning Ordinance Section 15.12.

- ◆ Sign material, style and color should compliment the building façade.
- ◆ Window signs or signs painted/etched onto a window should not cover more than 25 percent of the window.
- ◆ The font style is encouraged to be a historic/traditional lettering style; fonts and lettering that are overly ornate or otherwise unreadable are strongly discouraged.



Sign styles or features not appropriate for the Village:

- ◆ Internally illuminated (translucent plastic) signs, flashing elements, or elements that move or change its brightness.
- ◆ Use of fluorescent (“neon”) colors.
- ◆ Signs attached or projecting from the roof.
- ◆ Signs that mask the architectural details of a building, or whose design dominates the building façade.

Sign styles or features appropriate for the Village:

- ◆ Wooden signs, or a sign material that has the look of traditional wood signage (such as vinyl) (see photos); although not common in the Village, traditional wrought iron sign posts or brackets may be appropriate.
- ◆ Hanging signs such as from a post or projecting from the building.
- ◆ Freestanding signs with two posts (see photos).
- ◆ Wall signs on building façades, placed just above the storefront and appropriately proportioned to the front façade.

Though unified by common design elements, signs can still express the individual character of each business.

sign too busy with too much information

simple effective sign

interest added by color in routed area

9 ft. maximum

simple projecting sign



Above: A common style in the Village for freestanding signs hanging from a single post. Below and right: Signs in the Village on two posts (wood or stone) with a style appropriate to the Village character.



## 2. SITE FEATURES & LAYOUT

### 2.1 Setbacks & Building Placement

- ♦ The front setback of new buildings should be consistent with neighboring buildings along the street and in the neighborhood; a new building should not appear out of place because it is placed much closer or further from the street than other buildings.
- ♦ If the appropriate road setback is uncertain, the general guideline is to keep buildings close to the road, as is typical of traditional village and downtown development.

### 2.2 Off-Street Parking

See also the off-street parking provisions in the Town of Sanford Zoning Ordinance, Section 15.11

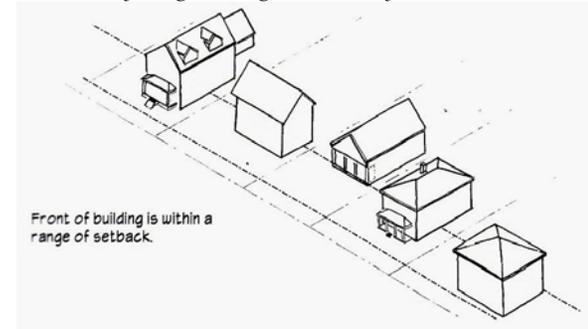
- ♦ On a building lot, the parking should be an accessory use to the principal structure, not a dominating feature of the site. Therefore, off-street parking lots should be sited behind or to the side of buildings. Parking (formal or informal) in the front yard of a residential or non-residential building is not appropriate and visually detracting.
- ♦ Off-street parking that is located to the rear of buildings should be identified with appropriate signage. Lighting and landscaping are encouraged sight improvements, in accordance with the Town's Ordinance.

### 2.3 Site Features & Landscaping

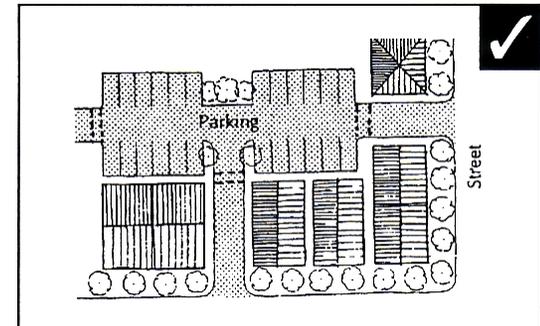
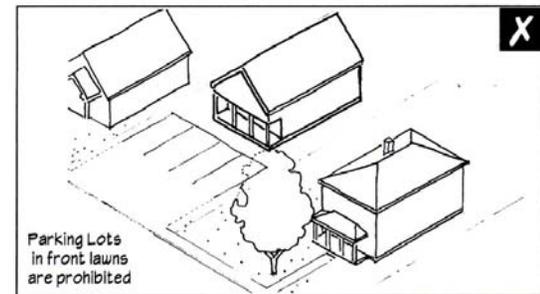
#### Pedestrian Walkways

See also the pedestrian circulation provisions in the Town of Sanford Zoning Ordinance, Site Plan Review, Section 17.7 Approval Criteria and Standards (e).

The front setback for a new building should be measured by neighboring and nearby setbacks.



Maintaining a consistent setback from the road goes hand in hand with keeping off-street parking behind or to the side of buildings.



- ♦ Walkways should provide safe, handicap accessible pedestrian connection between the building, parking, and the street. Connections to adjacent sites or developments should be provided where appropriate.



- ♦ Asphalt surfaces are predominant for walkways in the Village, but brick, pavers, stamped concrete, stone, and other materials should be considered to add character; maintenance to prevent cracks or shifting bricks/blocks from becoming eyesores or safety hazards must be considered.

*A well-designed pedestrian walkway, shown with a curb to keep vehicles off the path.*

## Fences

- ♦ Traditional materials (wood, cast or wrought iron, or stone) are recommended. Metal or vinyl fencing that looks like traditional wood or iron fencing may be an acceptable alternative. Chain link fencing is not appropriate and detracts from the character of the Village.
- ♦ When a fence is proposed in front of a building, it should be open and low (not exceeding 42" in height) so as not to block the view. Fences should be compatible with the building and neighborhood in style and proportion, and should enhance the streetscape.
- ♦ More solid, taller fences are appropriate to provide privacy or safety but should be located where they have minimal visual impact



*Some examples of traditional New England fencing styles, vinyl, iron, and wooden.*



from public streets, ways or places. These fences should also be appropriate to the structure and surrounding area. Five to six feet is the recommended maximum height.

- ◆ Wherever fences are located, care should be taken to modulate the length so as not to create a visual or pedestrian barrier. Landscaping should be considered in combination with fencing to relieve the visual monotony of a long fence.

### Screening & Landscaping

*See also the landscaping and buffering provisions in the Town of Sanford Zoning Ordinance, Site Plan Review, Section 17.7 Approval Criteria and Standards (o, r).*

- ◆ The setback area between a building and the street should be appropriately landscaped so as to contribute positively to the Village character and image. Lawn, planting beds, and/or plant containers are strongly encouraged. The use of native plant species is also encouraged.
- ◆ Paved or gravel surfaces, even if not for parking, are not appropriate for the front yard/setback area.
- ◆ In addition to fences (see above), stonewalls and hedges are appropriate site amenities. Examples of walls or hedges found in the Village should provide visual guidance for appropriate design.
- ◆ Landscaping and fencing must not block a vehicle's sight distance for a driveway or other service/access drive, and must allow for pedestrian access from the street to the building and access to off-street parking.
- ◆ Dumpsters or other trash bins should be sited to the rear of the primary building, and adequately screened with fencing and/or landscaping if not enclosed in a shed. Other unsightly site features, including utility equipment, should be screened to the extent possible, without compromising necessary access for maintenance.

*The absence of landscaping, street trees, or planters gives this building an un-welcoming and unattractive image.*



*Good front yard landscaping and pathways are pedestrian friendly and contribute to Village character.*





Left: Landscaping in front of businesses and in parking areas is already a part of the Village character. "Greening" the Village promotes pedestrian activity and improves private and public image.

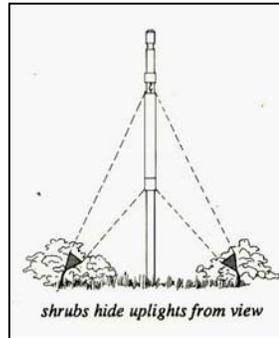


Screening or fencing dumpsters and utilities (above, top) is a simple but important site improvement. Leaving unsightly features unscreened (above, lower) can be remedied (while not sacrificing needed access for maintenance).

## Lighting

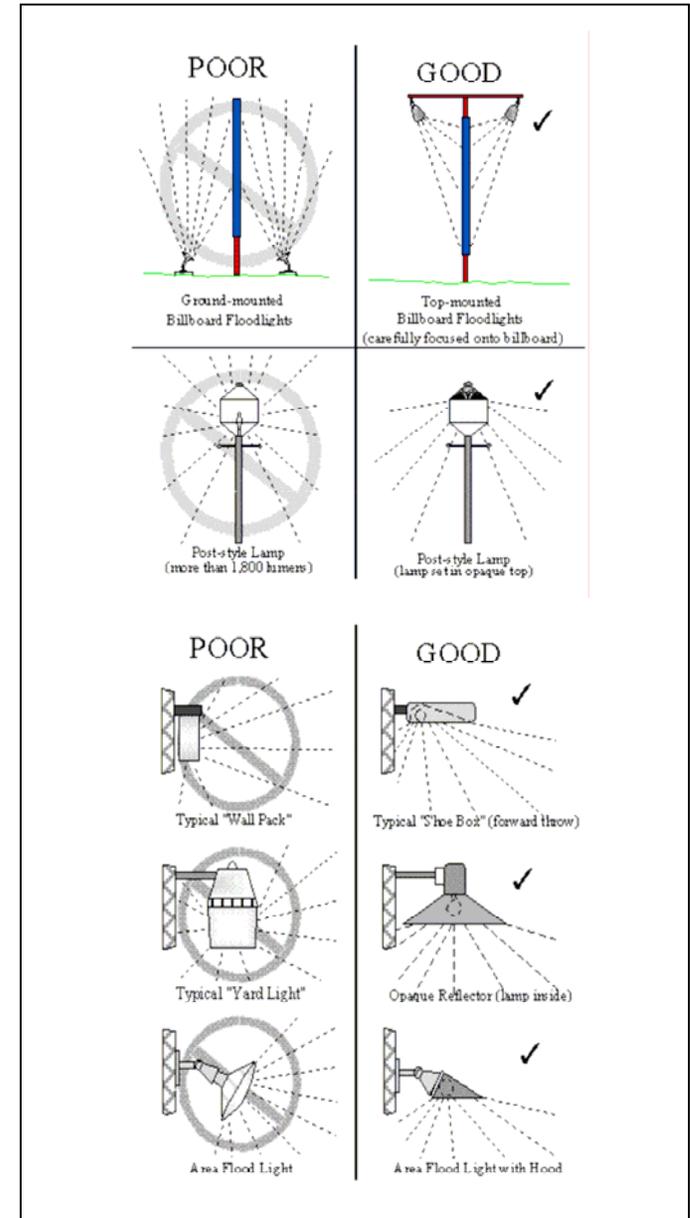
See also the lighting provisions in the Town of Sanford Zoning Ordinance, Site Plan Review, Section 17.7 Approval Criteria and Standards (m).

- ◆ These lighting design guidelines affect exterior light fixtures on a building, porch, deck, pathway, driveway, or on a post. Landscape, sign, or architectural lighting also applies.
- ◆ The intensity and distribution of light should be taken into account, particularly as it affects neighboring properties and the ambience of the neighborhood or district. While good lighting is important to safety and visibility, overly bright, glaring lighting detract from the Village character.
- ◆ Lamps (light bulbs), in general, should be fully shielded inside the fixture so that the lamp/bulb itself is not visible from adjacent buildings, pedestrians, and motorists. A carriage-lamp style light should have glass translucent enough to reduce glare.



### Up-lighting and façade lighting

- ◆ Up-lighting, such as for facades, signs, fountains, and landscaping, should be minimized to reduce glare and light pollution. Lighting of building façades should be done judiciously, perhaps limited to special buildings that have architectural significance or character.
- ◆ For signage, lighting from the ground should be adequately shielded such as with landscaping.
- ◆ Landscape lighting such as “wash” lighting of trees is not appropriate within the Village.



### 3. RESOURCES

The following documents and/or their illustrations were used in producing the Springvale Village Design Guidelines:

1. *A Vision for Bar Harbor Village, A Downtown Master Plan & Design Guidelines for Bar Harbor Village.* January 2001.
2. *Brunswick Village Review Board Design Guidelines (Maine).*  
[www.brunswickme.org/planning/vrb/villagereviewboard.htm](http://www.brunswickme.org/planning/vrb/villagereviewboard.htm).
3. *Historic Districts Guidelines.* Concord Historic Districts Commission (Massachusetts). 2002.
4. *Historic District Guidelines for New Development.* Salt Lake City (Utah).
5. *Village Planning Handbook.* Bucks County Planning Commission (Pennsylvania). 1989.
6. *A Guide for Downtown Improvements.* Frankfort, Kentucky. 1981.

