

Springvale Village
Sanford, ME

Village Plan & Design Guidelines



*Prepared for
The Sanford-Springvale Development Corp. & The Town of Sanford*

*By
Kent Associates Planning & Design, Gardiner ME*

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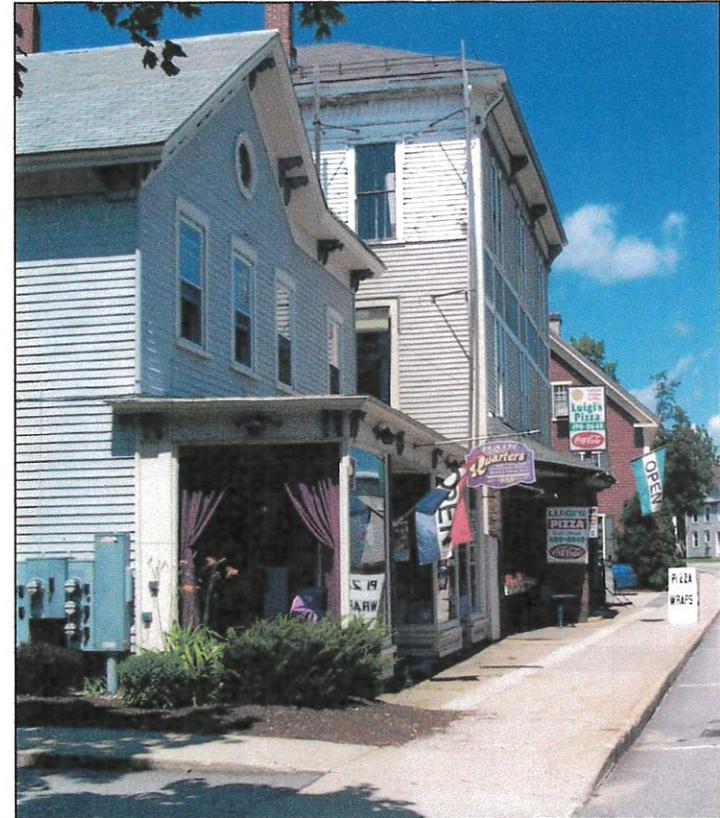
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SPRINGVALE VILLAGE PLAN & DESIGN GUIDELINES

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I. INTRODUCTION

The Springvale Village Plan & Village Design Guidelines presents overall strategies for maintaining Springvale’s character and enhancing the Village, and outlines a set of design guidelines for new development. This Plan was developed based on community input – at public workshops and with input from the SSDC and Sanford Town staff.

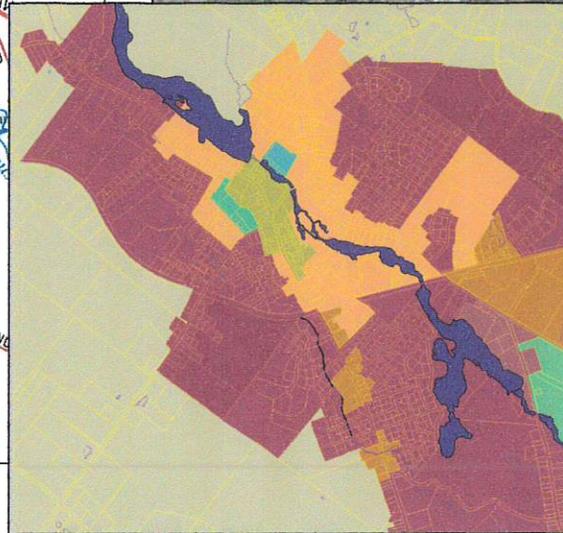
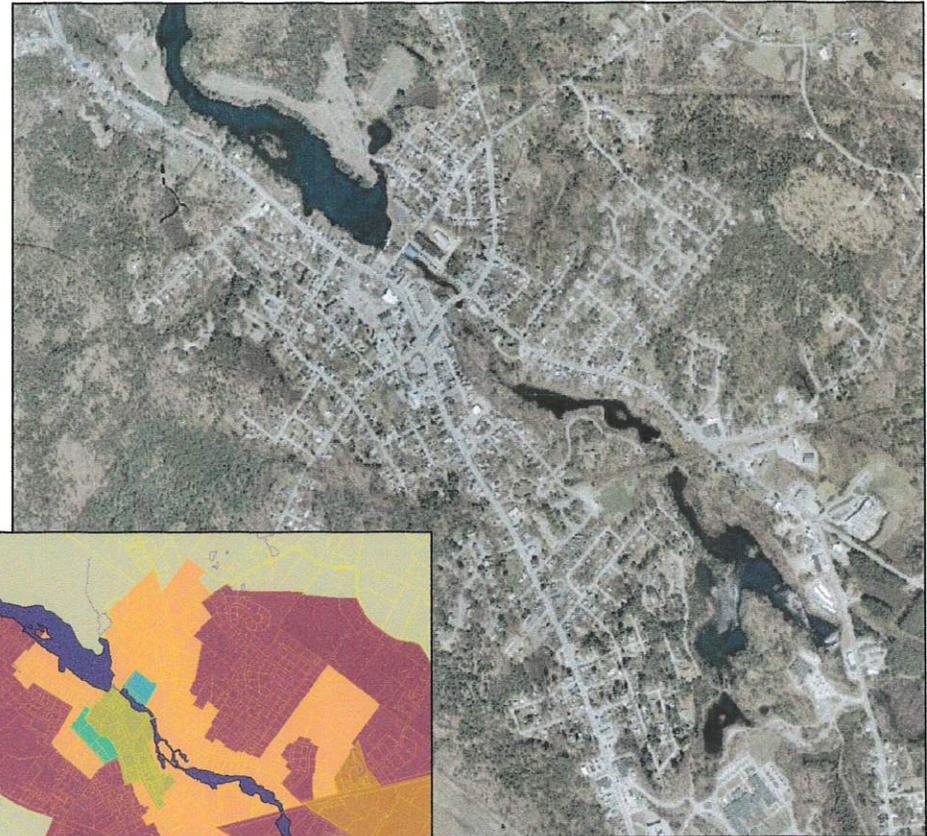
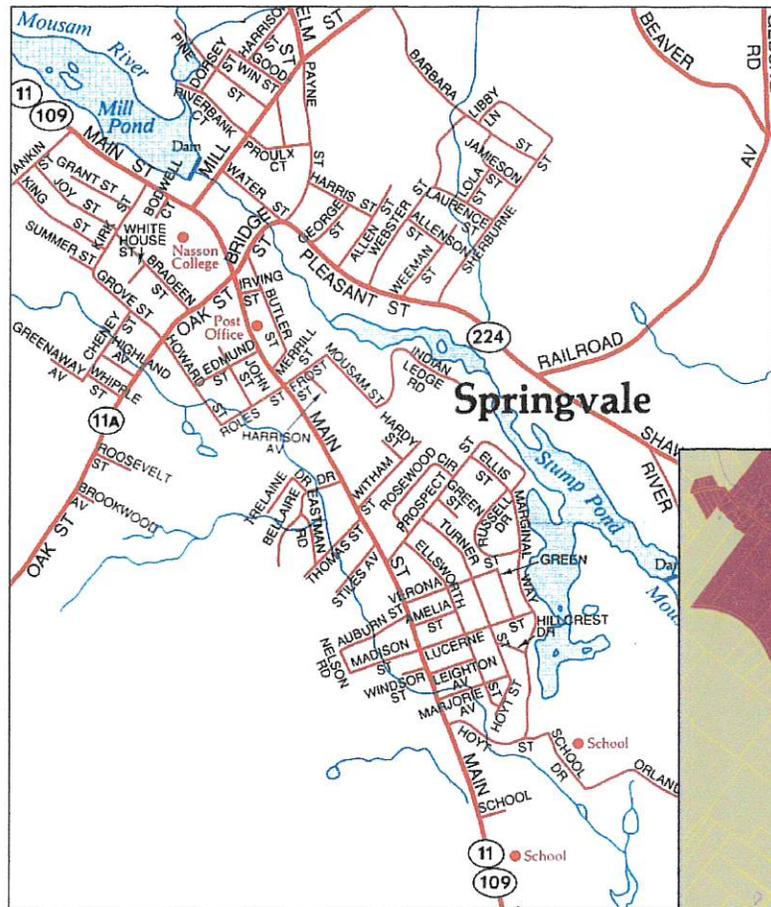
The Plan strategies encompass both public and private improvements; the private improvements recommended to existing development rely primarily on public-private partnerships and incentives. Partnerships between the Town, the SSDC, and private developers and owners have already proven to be visibly successful in the Village.

This plan has come together with the support and dedication of the SSDC, Town staff, and Springvale residents. Springvale clearly is a unique community within the Town of Sanford. It is Springvale’s community pride that will continue to drive Village improvements and success – and it is the community and community organizations like the SSDC that must champion the implementation of this Plan.



PLAN AREA (STUDY AREA)

The Village center and its surrounds are included in this Plan, generally defined as the area of greater neighborhood & development density, and by the configuration of current village zones (below). The Plan also includes the Main Street corridor extending south from the Village center towards Downtown Sanford.



II. SPRINGVALE VILLAGE PLAN

A) PLAN GOALS

The following goals were established at the beginning of the plan development process. The goals of this study are:

- ◆ To improve Springvale Village, as an important community center within the Town of Sanford
- ◆ To maintain and promote the Village character and improve the image of Main Street and surrounding neighborhoods
- ◆ To emphasize actions that build and maintain the sense of community, and community pride
- ◆ Identify physical improvements and redevelopment opportunities
- ◆ Identify possible public programs and initiatives to enhance the Village

B) SPRINGVALE VILLAGE VISION

The following vision statement was adapted from the current Sanford Comprehensive Plan:

The character and charm of Springvale will be retained. This will include protecting historic buildings and homes, maintaining a pedestrian-friendly village (locating new development in the downtown), and continuing redevelopment of the village center. The Mousam River will remain clean and become more accessible to the public as a result of new recreation areas and an expanded and improved trail system. Community facilities that serve Springvale and maintain its identity will be improved or created.

There will be a range of new development options in Springvale. Infill housing that respects the existing neighborhood's character will be created in the village. In other areas, clustered residential developments and multi-family housing will be created. Retail and other service buildings that mimic the buildings in the heart of the village (with apartments on the upper floors) will be created to ensure the downtown area of the village remains vibrant. Redevelopment of the former Nasson College campus will form the core of job-creation opportunities.

C) PRIORITIES FOR SPRINGVALE VILLAGE

From the outset, the core Village Plan issues were: how to maintain and improve the character and vitality of the Village; and how to deal with the potential threats to its character related to inappropriate land use and new development. At the core of the recommendations for Springvale Village are three key priorities, each addresses issues of future land use and development:

- 1) Continue to promote mixed use in the Village core.
- 2) Identify incompatible land uses for the Village and address through zoning.
- 3) Address Main Street “strip” development.
- 4) Maintain & enhance the character of the Village.

1) Continue to promote mixed use in the Village core.

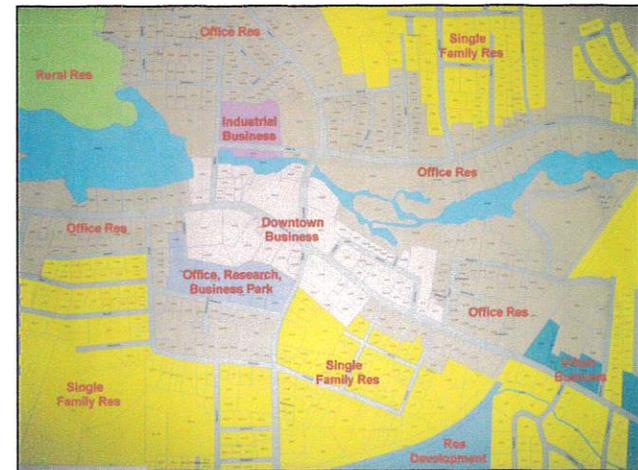
Mixed uses within the Village are critical to its vitality. The existing mix of uses is certainly a success, and residents value the availability of services and businesses right in their own neighborhood. At the same time, these businesses thrive upon the residential neighborhoods proximal to the Village center and on their central location along a major artery. Mixed uses occur both next door to each other and in some cases within a single building, where residences or offices are located on upper floors above retail or restaurants.



The Town must ensure that the zoning continues to allow mixed uses (both on a single site and on a village-wide scale), but it must also address uses incompatible with the Village character.

2) Identify incompatible land uses for the Village and address through zoning.

While mixed uses are the hallmark of a vibrant, thriving village, there are some uses that would clearly be incompatible with the village setting and diminish the character of the community. Such uses would be those with issues of scale (too large a development for the Village), intensity (a land use that generates too much traffic, for example), or a use that gives a “dead” or abandoned appearance. Incompatibility must also be addressed within the residential neighborhoods;



Existing zoning

while home businesses or small businesses on main routes may enhance a neighborhood, an incompatible non-residential use can potentially disrupt the neighborhood character and home values. The Town must carefully consider what uses are incompatible versus what uses can work if properly/sensitively sited and designed.

The current zoning in the Village is a hodge-podge of small districts, each with slightly differing allowed uses and standards. There are uses allowed in one or more of these zones that should be considered inappropriate for the Village (or more appropriate for another location in Town). The creation of a single Village Zone could help create consistency and allow for more flexibility while being tailored to maintain the character that residents and businesses enjoy.

3) Address Main Street “strip” development.

A growing concern, one driving this plan, is the encroachment of incompatible new development coming into the Main Street (Route 109) corridor, at the edge of the Village. As is seen across the state and the country, chain or corporate development rarely attempts to fit with local character; the goal is to market their product and promote their brand or business. Although the particular service or product may bring an economic benefit, the local community ultimately is negatively impacted, especially as such development makes them look like “anywhere U.S.A.” The worst scenario may be when existing buildings that are a part of the local character are removed and replaced by such development.

Springvale is at an increasing risk of seeing this kind of strip development on its Main Street corridor. Sanford is a growing community, and the Route 109 corridor between Downtown Sanford and Springvale Village is a prime target for strip development with its good access and traffic volumes (lots of potential customers). The reality is that places like Springvale can still accommodate these chain/corporate commercial businesses and not sacrifice local character, when the right tools are in place. There are many examples,



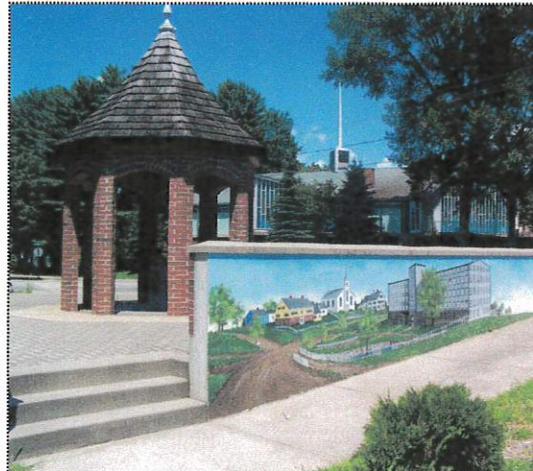
(Above) Strip development is typically low-density, and vehicle oriented rather than pedestrian oriented. Buildings that are set back too far from the road and/or frontage dominated by parking and vehicle circulation are not in keeping with the Village character. Design features such as landscaping and architecture may also be incompatible. Often the design and site layout are more the issue than the use is.

even within Maine, of thriving chain businesses that are sensitively designed and sited. Holding development along the Main Street corridor to the same design standards as in the Village center can allow for economic development while not sacrificing the Village character.

4) Maintain & enhance the character of the Village

Residents and business owners are proud of the Village. Springvale also provides services and jobs important to the community and the Town. In order to maintain its character and vitality, the community must continue to enhance the Village and invest in improvements.

The success of the Village depends on public and private efforts to enhance the character. It depends on the commitment of large, local ownership and investment. The Town, through this plan, should work to support private investments, while making its own investment in Village improvements.



III. VILLAGE PLAN STRATEGIES

This section presents a set of strategies for improving Springvale Village, capitalizing on its assets and looking at opportunities for the future. These strategies fall under the following categories:

1. Village Initiatives
2. Gateways
3. Public Streetscape Improvements
4. Roadway/Traffic Improvements
5. Private Improvements
6. New Development
7. Village Neighborhoods



1. VILLAGE INITIATIVES

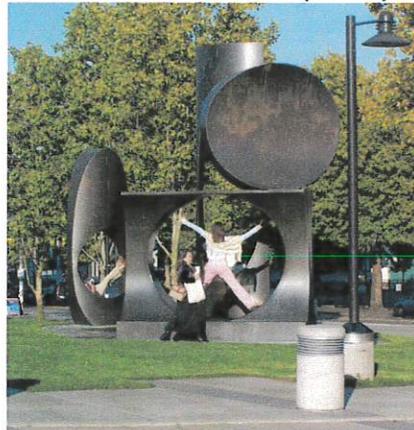
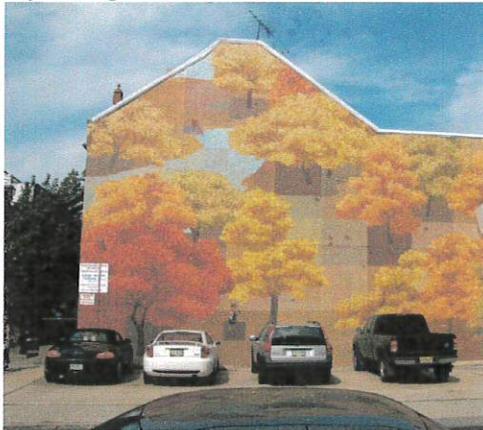
1.1 Strategy: Encourage arts initiatives in the village.

Explanation: The Town and/or Village organizations should encourage and support art/cultural displays & events in the Village. Promoting arts in the Village also supports economic and community health. Projects could include temporary/changing art displays in public spaces; indoor or outdoor murals; permanent or temporary outdoor sculpture; events showcasing local artists, such as outdoor art shows or an “art walk” (perhaps with Village/Town artists).

Timeframe: Immediate & On-going

Funding Opportunities: Chamber of Commerce
Private/business donations

Left to right: a mural to enhance a blank façade or wall; outdoor sculpture; public art with a theme (e.g. lobsters in Rockland); a unique bicycle rack.



1.2 Strategy: Encourage the promotion of historic resources in the Village.

Explanation: The historic resources of the Village are important; they define its unique character and provide a sense of community and continuity. The Town and/or Village organizations need to support and promote these irreplaceable resources. Initiatives include: creating a self-guided historic walking tour (already in progress); landowner outreach for historic building maintenance; the proactive preservation of historic buildings and artifacts; support for and publicity of the new Historic Society facility on Main Street; and Village event(s) that celebrate the communities heritage and historic resources.

Timeframe: Immediate & On-going

Funding Opportunities: Federal historic preservation tax credits
Private/business donations

1.3 Strategy: Promote and support private historic building maintenance through a Village preservation program.

Explanation: There have been many comments throughout this planning process on the wonderful architectural character and heritage of Springvale Village, and on the lack of promotion or protection of private historic buildings. Educating owners of historic buildings is an important first step in helping to protect and maintain them, as can efforts to encourage owners to have their buildings added to the National Register. There should also be in place the appropriate regulatory tools to prevent the unnecessary or premature demolition of historic buildings; this could include ordinance language that requires alternatives to demolition be explored, before the destruction of a historic building is considered.

The Town's Historic Society and its musuem is a wonderful asset and resource, and must continue to be supported. This organization is the most logical for establishing a private historic building maintenance program. Funds to support such an initiative would be a well-placed investment.

Timeframe: Short-term (2-5 years) & On-going

Funding Opportunities: Federal historic preservation tax credits
Town funding and/or CDBG funding for historic façade maintenance and/or reconstruction

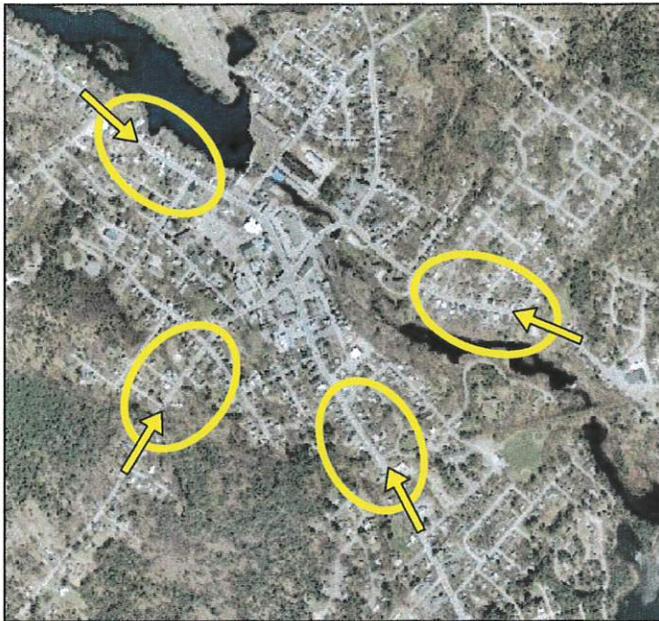
2. GATEWAYS

2.1 Strategy: Create welcoming gateways to the Village on Main Street (north and south), Pleasant Street, and Oak Street.

Explanation: Well-placed and well-designed gateways welcome visitors into the village, and celebrate the village as a special place. Gateway signage should have readable lettering and a style that fits the village – such as a design that reflects the Village’s traditional architecture. Landscaping can also be added to enhance the gateway area. Signage and landscaping must be placed so not to block sight lines or impair visibility for vehicle traffic.

Timeframe: Immediate (1-2 years)

Funding Opportunities: MDOT Gateway Program
SSDC funds or Town funds
Private donations of time, materials, or money



Left: Gateway treatments should be located at the main gateways into the Village center. An additional gateway at Mill Street/Payne Street could also be included.

Right: Examples from other communities of welcoming gateway signs, located just outside their downtowns.



Right: A sketch showing an option for a southern Main Street gateway sign and landscaping. Planted curb bump-outs for traffic calming are also shown.



Below: A photosimulation showing a gateway sign on Oak Street, at the Railroad Trail.



3. PUBLIC STREETSCAPE IMPROVEMENTS

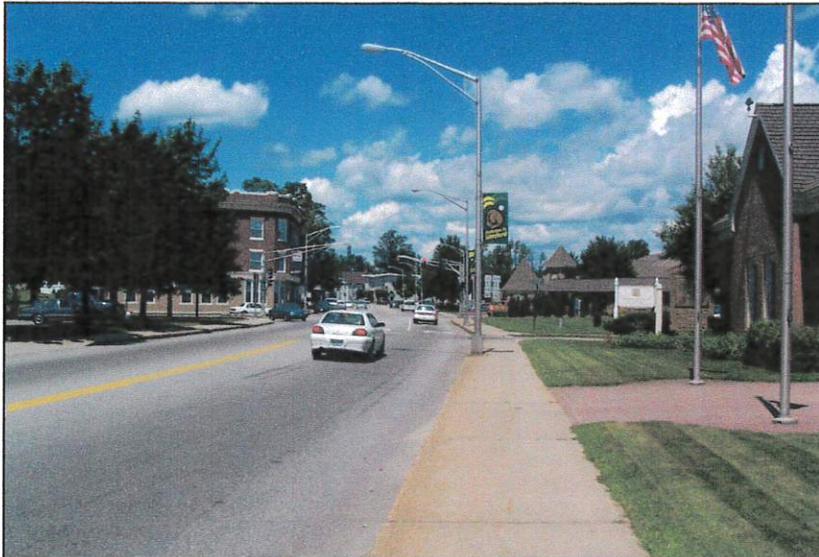
3.1 Strategy: Establish a streetscape design style for the Village, distinct from Downtown Sanford.

Explanation: The village streetscape should include pedestrian-scale lighting, a consistent sidewalk and crosswalk design, and other streetscape amenities (see next). Elements such as street trees, planters, sidewalk paving or other landscaping should be of a consistent design but do not have to be continuous throughout the Village.

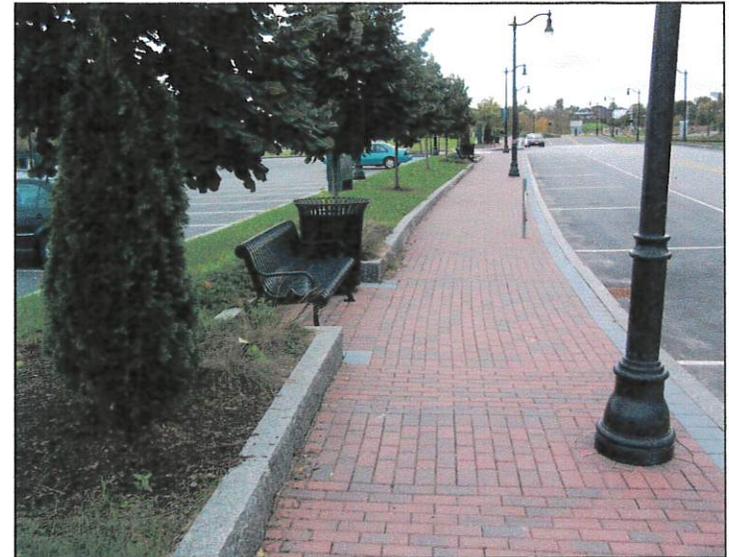
Timeframe: Intermediate (5-10 years)

Funding Opportunities: CDBG funds
Town CIP
TIF funds (if a TIF district were to be established for the Village)

On Main Street, the existing streetscape in the Village.



An example illustrating design elements that would be used throughout the Village center (sidewalks, lighting, etc).



Below: New lighting with hanging baskets, as part of the possible streetscape improvements. Lampposts could be placed along the street or moved back to the inside of the sidewalk to reduce hits from plows or vehicles.

Right, above: Streetscape improvements photosimulation. The sidewalk design, lighting, landscaping, and crosswalks should be consistent in the Village center to maintain continuity.

Right, below: Streetscape improvements could be used in other parts of the Village center (either as public or private improvements).



3.2 Strategy: Enhance the village streetscape with street furniture & other amenities.

Explanation: Streetscape amenities are the “extras” which the Town can add within the public right-of-way to further enhance the character of the Village. These could include new light-pole banners, benches, bike racks, or other street furniture.

Timeframe: Short-term (2-5 years)

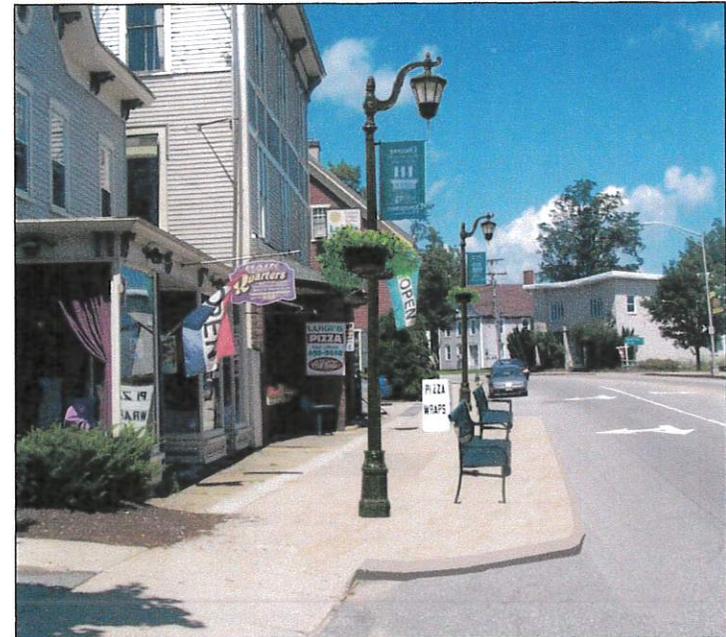
Funding

Opportunities: CDBG funds
Town CIP
TIF funds (if a TIF district were to be established for the Village)

Examples of streetscape amenities such as benches, planters, and trash receptacles.



A photosimulation showing banners, benches, and hanging baskets.



3.3 Strategy: Make crosswalk improvements, to enhance crosswalk visibility and pedestrian safety.

Explanation: Improving and maintaining the walkability of the Village is important to both safety and vitality of the community. Crosswalks in the Village should be wide enough and bold enough to establish a visual presence that drivers will notice. The addition of curb bump-outs (see illustration) for crossings should also be considered.

Additional crosswalks could be added, particularly on Main Street in the Village center, for better pedestrian access. Creating a “rhythm” of crosswalks can also contribute to traffic calming, as can the addition of bump-outs at crossings.

Timeframe: Short-term (2-5 years)

Funding Opportunities: MDOT Enhancement funds
CDBG funds
Town CIP
TIF funds (if a TIF district were to be established for the Village)

A photosimulation showing bolder crosswalks on Main Street.

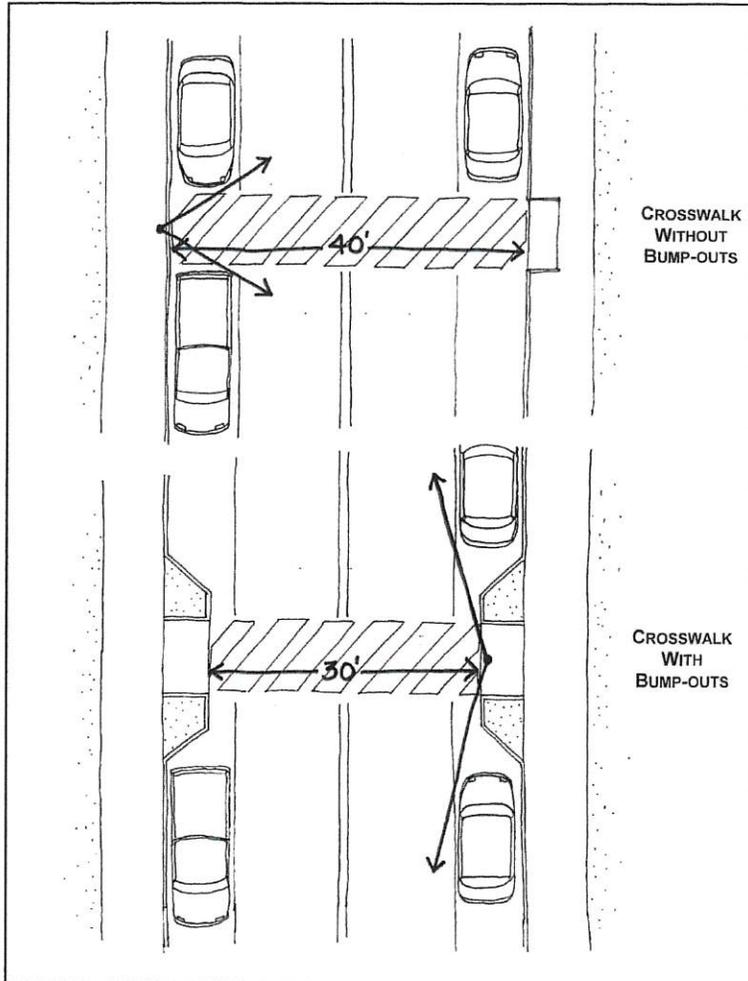


An example of a colored, “stamped” crosswalk (asphalt).



Right: Traffic calming with pedestrian crossings. These examples show a center island (above) and "neck-downs" in the shoulders (below), both which improve safety at crossings.

Below: This diagram illustrates how a bump-out reduces the crossing distance and increases the visibility of a pedestrian to drivers.



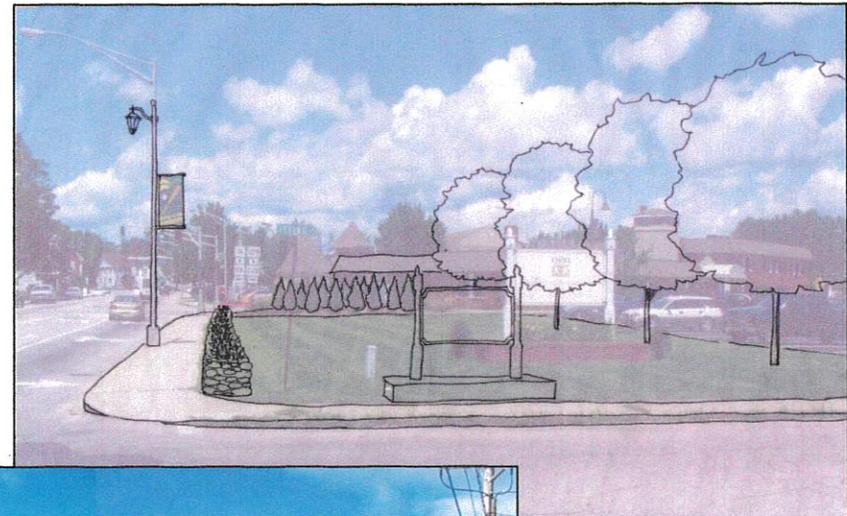
3.4 Strategy: Incorporate tree plantings and/or landscaping.

Explanation: Some of the private development sites in the Village center have already made enhancements such as tree planting and landscaping with flowers, shrubs, fencing or stonewalls; similar embellishments should be incorporated in the public right-of-way.

Timeframe: Intermediate (5-10 years)

Funding Opportunities: Project Canopy (MFS, MDOC)
CDBG funds
Town CIP
TIF funds (if a TIF district were to be established for the Village)

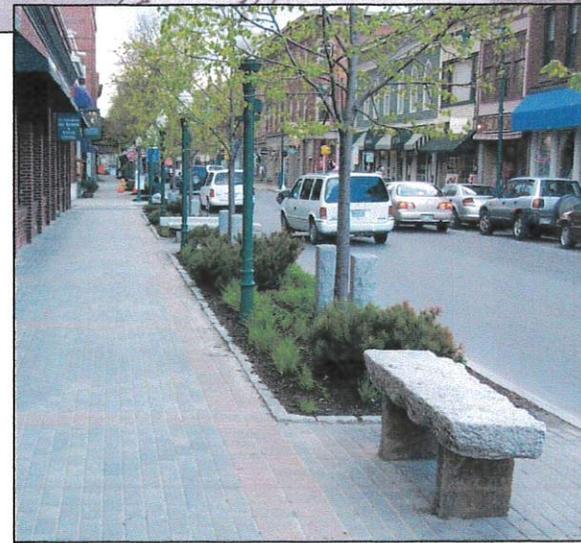
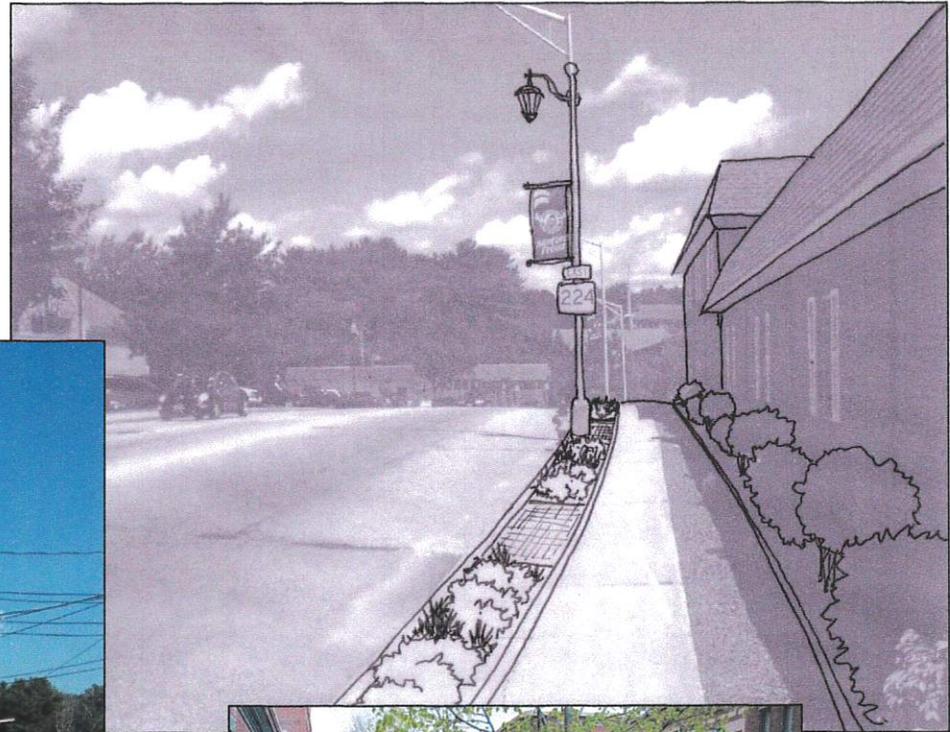
Street trees added in the appropriate places can greatly enhance the Village center without blocking drivers' or businesses' visibility. Below, a photosimulation with street trees; right, landscape improvements such as a raised planting bed along the street with street trees set back from the street.



Right: A sketch illustrating the option for a landscape planting strip that could be added along sidewalks (shown on Bridge Street).

Below, left: Adding landscaping to the streetscape with a planting strip and hanging baskets rather than street trees.

Below, right: A generous planting strip with street trees, in Rockland, Maine.



3.5 Strategy: Extend streetscape elements throughout the Village core.

Explanation: The incorporation of streetscape elements helps define and unify the Village center. Components of the Village streetscape (lighting, sidewalk and crosswalk improvements, and banners in particular) should extend along Main Street at least from Kirk Street to Frost Street, as well as on Oak Street (to Bradeen Street) and Bridge & Pleasant Street to Webster Street; priority for extending the streetscape should be given to Main Street. Further expansion to include Bradeen, Water and Mill Streets should be considered in the long term as well.

Extension of the Village streetscape could be done in prioritized phases. The Town should consider burying utility wires as part of the streetscape enhancement and extension.

Timeframe: Intermediate (5+ years) – streetscape on Main Street
Long-term (7+ years) – streetscape on other Village streets

Funding Opportunities: CDBG funds
Town CIP
TIF funds (if a TIF district were to be established for the Village)

In red, the area of Main and Bridge Street that currently has buried overhead wires and amenities (banners). In yellow, the area for extending the streetscape (and burying overhead wires), including Main Street, Pleasant Street, Oak Street, and Bradeen Street.



4. ROADWAY/TRAFFIC IMPROVEMENTS

4.1 Strategy: Implement traffic calming measures, especially on Main Street (Route 109).

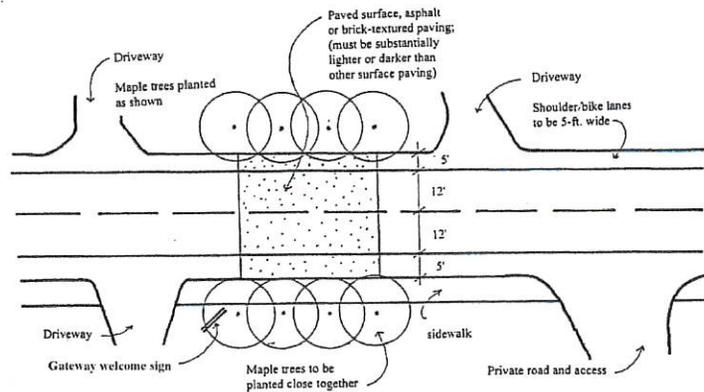
Explanation: Although no specific traffic calming measures have been recommended for the Village, there may be several that would be appropriate for Route 109 and other major Village routes. Any traffic calming measures must be approved by a traffic engineer, and in particular by MDOT on state roads such as Route 109.

Traffic calming measures that may be appropriate for the Village include bump-outs for crosswalks; narrowing of the lane striping, to include bicycle lanes, for example (not a physical narrowing of the roadway); or possibly short center medians. Other elements that can contribute to traffic calming include street tree plantings, and the placement of crosswalks in a regular pattern or rhythm.

Timeframe: Intermediate/Long-term (5+ years), perhaps depending on any MDOT projects on Rt. 224

Funding Opportunities: MDOT Enhancement Funds
Town funds, partner with State/MDOT funds

Traffic calming for a gateway.



Example of Gateway with Traffic Calming

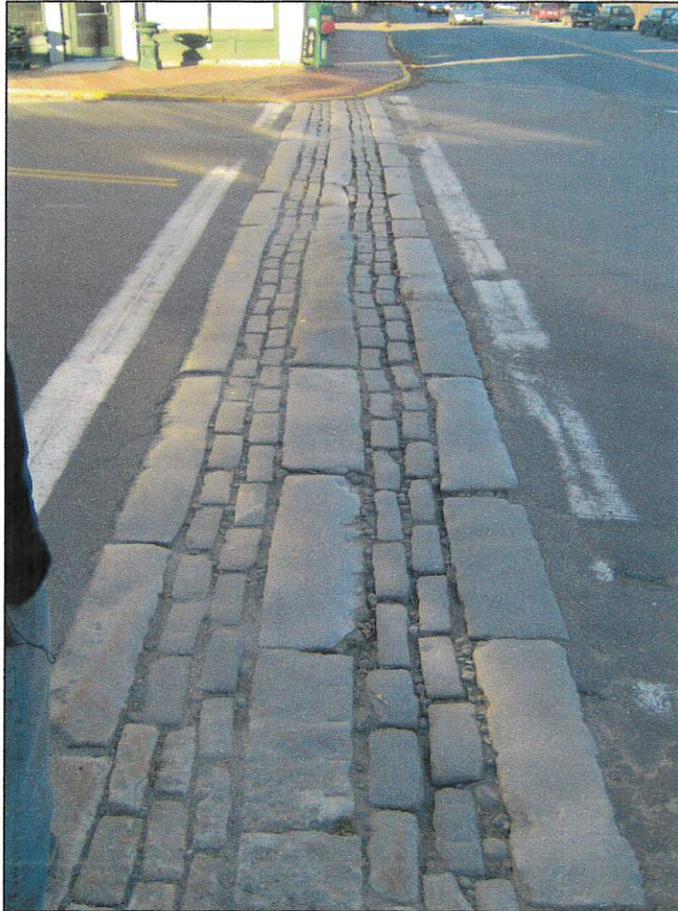
Raised crosswalks or speed humps would not be appropriate for high traffic areas or truck routes (such as the Village).



Right, above: A center island for traffic calming; shown here with a pedestrian crossing.

Right, below: A bump-out at a pedestrian crossing, with sloped or mountable curbing and a crosswalk sign in the street.

Below: Adding texture (such as pavers or cobblestones) can help calm traffic, but can take more cost and effort to maintain.



4.2 Strategy: Make improvements to Pleasant Street/Water Street/Payne Street intersection (Route 224).

Explanation: This wide, curving intersection accommodates truck traffic very well, but poses potential safety issues for both pedestrians and passenger vehicles. Pedestrians not only have a greater distance to cross than other intersections in the Village, but the poor visibility of vehicles coming from either direction on Rt. 224 make crossing precarious. The lack of adequate signage and/or painted lines on the street, in combination with sight distances at the intersection, contribute to the problem. Traffic calming measures should also be considered at (and leading up to) this intersection.

Having small, planted islands similar to the Main Street/Oak Street intersection, for example, might enhance the look and safety of this intersection. (These islands provide an added measure of safety for pedestrians crossing at wide intersections, and can also be designed with sloped curbs to accommodate a truck's wide turning radius.)

As with the strategy above, any improvements to this intersection will need to be reviewed by a traffic engineer and coordinated with MDOT.

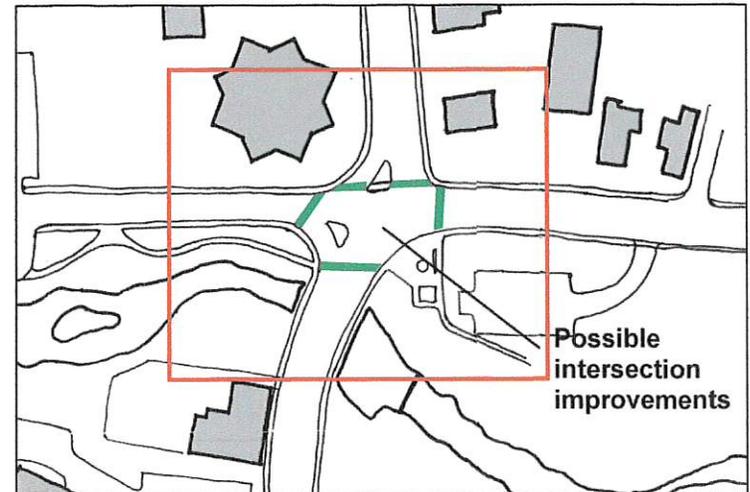
Timeframe: Intermediate/Long-term (5+ years) (perhaps depending on any future MDOT work on Rt. 224)

Funding Opportunities: MDOT Enhancement Funds
Town funds, partner with State/MDOT funds



Left: Islands at the Main Street intersection add both safety and aesthetics.

Right: Pedestrian crossing improvements may be the most important improvement at the intersection



4.3 Strategy: Explore the need for on-street parking on Main Street in the Village center.

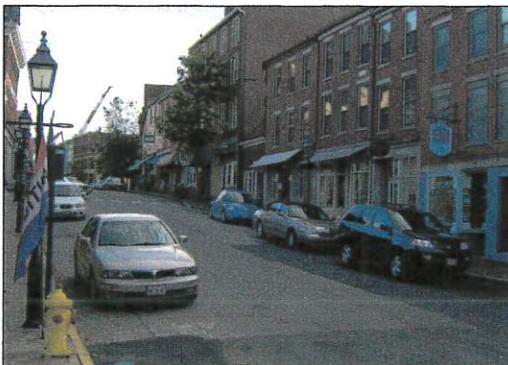
Explanation: Much discussion was generated over on-street parking on Main Street during the course of this plan. There has been both suggestions to replace on-street parking along more of Main Street in the Village center, as well as comments that the few spaces just north of the traffic light are too close to the intersection and turning traffic at the Village Green. On-street parking is clearly needed for some existing businesses in the Village center. At the edges of the Village core, residential units park on-street on the shoulders.

In traditionally laid out villages and downtowns, marked on-street parking spaces are important for businesses to attract and keep customers and clients who want convenient, short-term parking. This is true even in downtowns where heavier traffic makes it more difficult to get in and out of parallel parking spaces. Another benefit to on-street parking is an incidental effect on traffic speeds. While having on-street parking is not in-and-of-itself a traffic calming measure, it has been determined that cars parked on-street can cause drivers to reduce speeds.

Springvale must have adequate on-street parking to serve existing businesses, and should consider the need and possible benefit to adding on-street parking in the Village center. However, at this time there is not a pressing problem that needs immediate resolution. The Town will need to consult with a traffic engineer and with MDOT on the feasibility given traffic volumes along the major arterials.

Timeframe: Long-term (7+ years)

Funding Opportunities: n/a



Left: On-street parking in downtowns and village centers not only support businesses but can also contribute to traffic calming.

Right: Only a small section of Main Street in Springvale has on-street parking. One concern is on-street parking that is too close to the lighted intersection.



5. PRIVATE IMPROVEMENTS (THROUGH PUBLIC/PRIVATE PARTNERSHIPS)

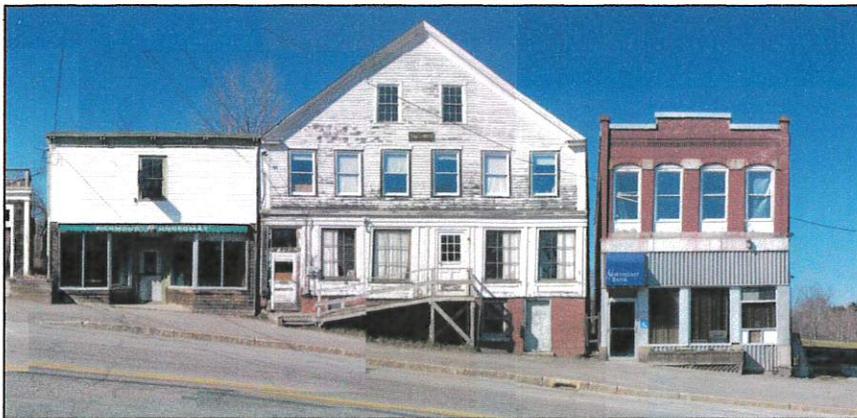
5.1 Strategy: Promote and support private building façade & signage improvements.

Explanation: While addressing the design and appropriate image for new development in the Village is a high priority, encouraging improvements to existing development is also important to maintaining and improving Village character. Establishing a formal program for façade (and signage) improvements is an effective way to foster improvements to existing private buildings. A façade program, similar to successful programs in other Maine downtowns, would provide grant or loan funds to Village building owners or businesses; through an application process, funds would be distributed for projects that follow a set of established guidelines, as to the types of improvements that can be funded, and appropriate design criteria.

Timeframe: Short-term (2-5 years) & On-going

Funding Opportunities: Façade grant funds (CDBG)
Local financial institutions
SSDC funds or Town funds
TIF funds (if a TIF district were to be established for the Village)

An example of façade improvement sketches, as part of a town’s façade improvement program.



5.2 Strategy: Promote and support private landscaping & site improvements.

Explanation: Along with building and signage improvements, the Town should support site improvements for existing businesses (e.g. parking, pedestrian amenities, landscaping, art, etc.). This could involve cooperative efforts along the street front in conjunction with public streetscape improvements, or could mean making sure there are no regulatory obstacles to property owners making needed improvements. Businesses that do make improvements that reflect well on the Village should be publicized, as a way of promoting and encouraging the investment private businesses make in the Village.

Timeframe: On-going

Funding Opportunities: n/a



Private site improvements that reflect well on the Village.

5.3 Strategy: Continue to explore Nasson Commons redevelopment opportunities.

Explanation: The SSDC has already had great success in seeing much of the former Nasson campus redeveloped. The remaining buildings (Marland Hall, the Science Center building, in particular) are still good opportunities for new, mixed uses. Alternatively, the building sites may have greater use than the structures themselves. This can best be determined by an architectural/structural engineering analysis to evaluate functional structural, financial and energy efficiency issues. Given the importance and value of the location of the Commons, such an evaluation would help prospective developers (and the Town) plan for the future.

Potential tax incentives are a good "carrot" and reward for developers; continued public/private cooperation and SSDC assistance and involvement are also needed.

Timeframe: Immediate & On-going

Funding Opportunities: Explore applicability of New Markets Tax Credits Program
TIF program incentives (if a TIF district were to be established for the Village)

5.4 Strategy: Expand parking at Nasson Commons.

Explanation: Any redevelopment of vacant buildings or the building sites at Nasson Commons will likely mean the need to provide additional parking spaces. Future uses of Marland Hall or increased use of the Anderson Learning Center building could also increase the need for parking.

The options for expanding the current parking at Nasson Commons are limited, but additional spaces could be gained on the Oak Street side of the Science Center building, and/or if the rear/interior portion of that building were removed. A parking need study should accompany any evaluation of this area.

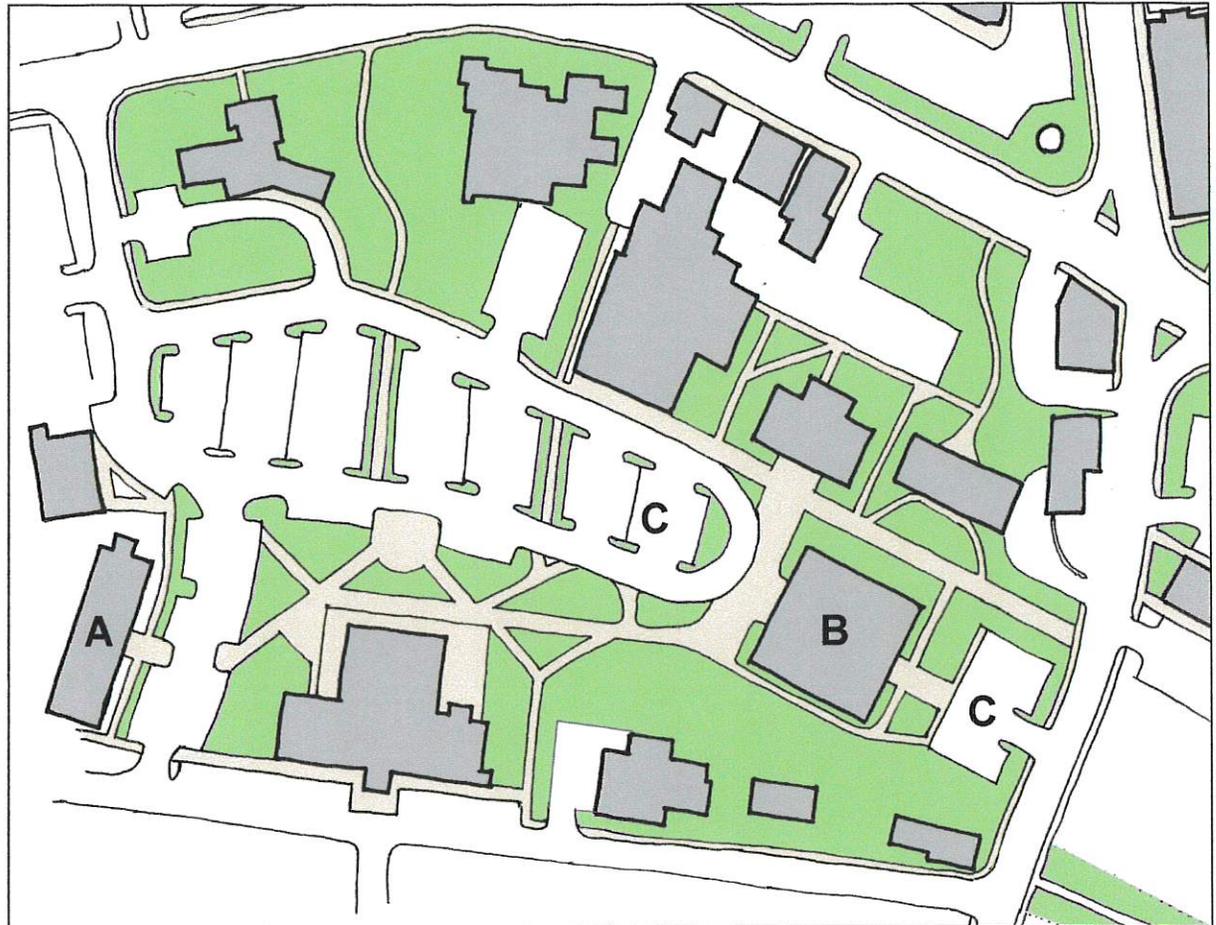
Timeframe: Intermediate/Long-term (5+ years)

Funding Opportunities: CDBG funds
Private development funds, matched with public funds
TIF funds (if a TIF district were to be established for the Village)

Right: Redevelopment opportunities at Nasson Commons.

(A) Marland Hall, which may soon be redeveloped as housing, and (B) the Science Center. Additional parking (C) would likely be needed for the Science Center, either in front or behind the building.

Below: The Science Center, as it stands now, in need of much work.



5.5 Strategy: Consider other redevelopment opportunities in the Village (e.g. on Main Street, on Water Street).

Explanation: Other redevelopment opportunities in the Village, besides at Nasson Commons, include locations on Water Street, Mill Street/Main Street, or southern Main Street (between Merrill and Frost Streets, or sites along Route 109 between the Village center and the High School). These sites would be suitable for commercial or mixed-use development. These redevelopment opportunities depend on timing, landowner willingness, and developer interest. The Town and SSDC should look at these potential sites and others with an eye to the future; setting the stage for new development that is appropriate to the Village in land use and design is as important as their economic development potential.

Timeframe: On-going

Funding Opportunities: Explore applicability of New Markets Tax Credits Program TIF program incentives (if a TIF district were to be established for the Village)



Potential private redevelopment sites must include property or properties that are buildable and can accommodate off-street parking. Sites on Main Street or within the Village core provide appeal for commercial/retail businesses.

6. NEW DEVELOPMENT

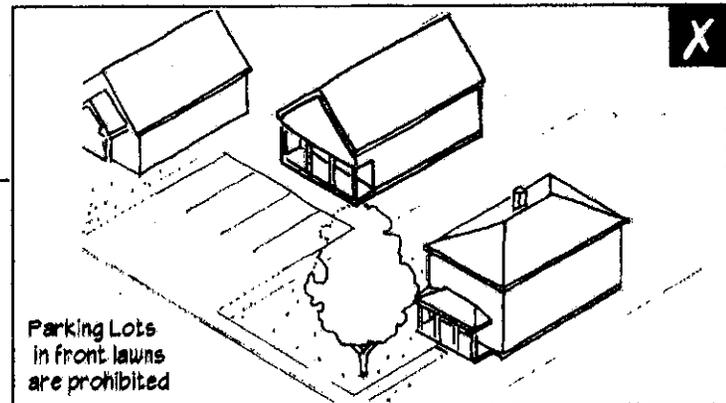
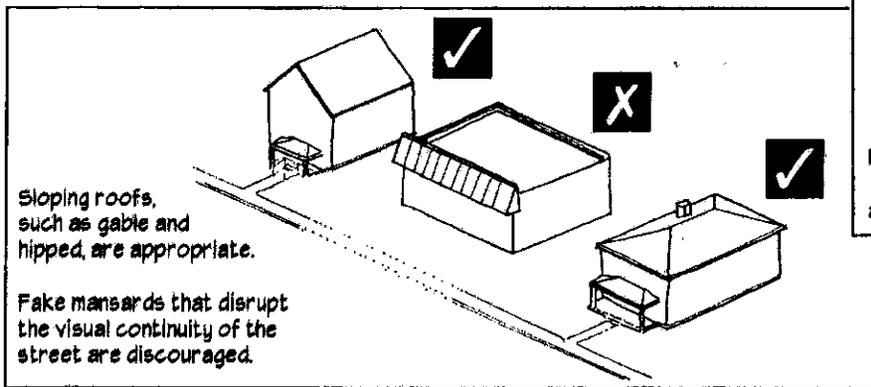
6.1 Strategy: Develop design standards for new development in the Village.
(See Section IV of this plan.)

Explanation: Although new development in Springvale Village has by and large been well-designed and appropriate for the Village in character, there are, in fact, no tools in place for the community to ensure that a development keep in character. In combination with adjustments to the Village zoning, design guidelines or standards are needed to ensure new development does not detract from the Village's image.

Design standards cover elements such as architecture and building materials, building scale/proportion, site layout and setbacks, accessory structures and parking, and landscaping and lighting. Section IV of this document presents design guidelines that could be incorporated into the regulatory tools to protect Village character.

Timeframe: Immediate (1-2 years)

Funding Opportunities: n/a



6.2 Strategy: Establish a TIF District for the Village to capture funds from new development and improvements.

Explanation: As the Village Plan is implemented and new private investments are made in the Village, the Town could capture these funds to be directed towards public improvements. TIF funds could also be used as a financial incentive for property owners and developers who invest in the Village, by returning a portion of the TIF funds for the initial investment. The district boundaries should match the proposed Design Guidelines district (see Section IV) boundaries, perhaps extending south along Main Street towards Downtown Sanford as well.

Timeframe: Immediate (1-2 years)

Funding

Opportunities: (This strategy creates funds towards village improvements)

Traditional TIF	Downtown TIF
At least 25% of district must be blighted, in need of rehabilitation, or suitable for commercial use	No limitation
District may not exceed 2% of total acreage of municipality	No limitation on size of district
Total acreage of all TIF districts may not exceed 5% of municipality	Not counted against total municipal TIF acreage limitation
The original assessed value of all TIF districts within a municipality may not exceed 5% of total value of taxable property as of April 1 preceding a district designation	Not counted against 5% of municipal valuation limit
The aggregate value of general obligation debt financed by TIF proceeds in any county may not exceed \$50,000,000 (adjusted)	Does not impact TIF-related general obligation debt limit within the county
Only TIF proceeds generated by the activities within the district can be used to fund projects and activities within the district	TIF proceeds generated by other TIF districts within the municipality that impact the downtown can be used to fund the projects and activities of the downtown district's

Qualified Development Program Costs	
Capital cost - such as: <ul style="list-style-type: none"> Acquisition of property & demolition of structures Parking development & debt service payments Construction & modification of public infrastructure Streetscape improvements 	Administrative costs - such as: <ul style="list-style-type: none"> Downtown manager program Staff devoted to downtown efforts Marketing collateral material, advertisements Promotions, events, festivals
Financing Costs - such as: <ul style="list-style-type: none"> Capitalization of a Revolving Loan fund Site-specific credit enhancements Common elevator program Facade program 	Site-Specific Real Estate Projects <ul style="list-style-type: none"> Targeted site re-use Blighted buildings
Professional services - such as: <ul style="list-style-type: none"> Engineers, architects, planners & consultants Downtown development planning over life of TIF district 	Use-Specific Projects <ul style="list-style-type: none"> Desired retail Restaurants, cafes Art & cultural attractions Lodging
Tips for Effective TIF District <ul style="list-style-type: none"> Support local goals & objectives Put a decision-making process in place Establish guidelines around use of credit enhancement Allow as much flexibility as feasible Delineate boundaries thoughtfully 	Steps to Create a Downtown TIF District <ul style="list-style-type: none"> Downtown redevelopment plan Downtown TIF Program <ul style="list-style-type: none"> Boundaries Development program Financial Plan Municipal approval State DECD approval Credit Enhancement Agreements

7. VILLAGE NEIGHBORHOODS

7.1 Strategy: Maintain neighborhood character & walkability.

Explanation: The vitality of Springvale is certainly in part attributable to the scale and close proximity of neighborhoods, and their connection to the Village center (walkability). Creating private interest in maintaining neighborhoods and properties is also an important tool for neighborhood revitalization. A public program to hear ideas and concerns for neighborhoods improvement and housing could be developed, perhaps also encouraging the formation of small neighborhood improvement groups that get neighbors involved. The community/Town should also reach out to landlords (local or not) to better address housing issues. For housing and neighborhood assistance, partner with MSHA and/or CEI.

Also, as the village housing grows, the density and pattern of housing should be maintained. New housing that is too spread out will diminish the walkability/connectivity and the neighborhood character that makes Springvale attractive.

Timeframe: Short-term (2-5 years) & On-going

Funding Opportunities: MSHA (Maine State Housing Authority), CEI (Coastal Enterprises, Inc) assistance
Town funds (to support a neighborhood program)
Private donations

7.2 Strategy: Make public improvements (e.g. sidewalks, lighting, crosswalks) in Village neighborhoods.

Explanation: Public investment in the upkeep of the Village neighborhoods encourages the sense of community, support for the Village businesses and services, and use of public spaces such as the parks. While most of the neighborhoods surrounding the Village center have sidewalks, many of these sidewalks are in need of improvements. Existing crosswalks could be enhanced, and even some crossings added. Lighting should be assessed to ensure safety issues are addressed. Following the same streetscape design style/elements used in the Village center will help create continuity throughout the Village.

Where opportunities come up, “pocket parks” or other small green spaces would enhance neighborhoods (especially on the east side of the River).

Timeframe: Intermediate (5-10 years)

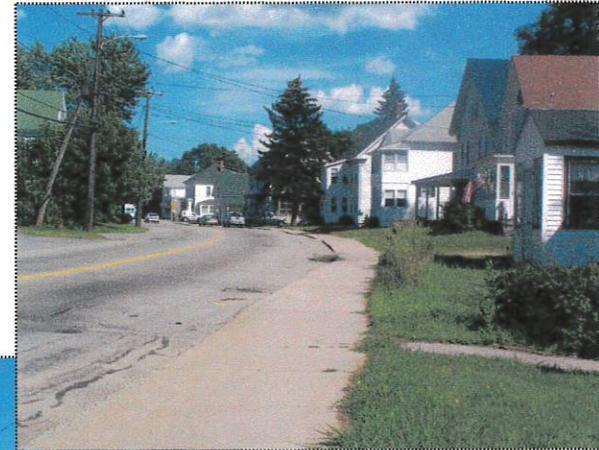
Funding

Opportunities:

CDBG funds

Town CIP

TIF funds (if a TIF district were to be established for the Village)



IV. SPRINGVALE DESIGN GUIDELINES

A) Introduction

1. Purpose/Intent
2. Creating Restrictions for the Village
3. Other Performance Standards/Guidelines

B) Design Guidelines District

C) General Guidelines

1. Character
2. Context
3. Existing Structures

D) Guidelines

1. Architecture

- 1.1 Building Mass, Scale & Height
- 1.2 Architectural Style/Character
- 1.3 Architectural Details
- 1.4 Roofs
- 1.5 Street Façades
- 1.6 Entrances
- 1.7 Proportion & Spacing of Openings (Windows, Doors)
- 1.8 Windows & Window Treatments
- 1.9 Exterior Building Materials
- 1.10 Accessory Structures
- 1.11 Signage

2. Site Features & Layout

- 2.1 Setbacks & Building Placement
- 2.2 Off-Street Parking
- 2.3 Site Features & Landscaping

3. Resources

VI. SPRINGVALE DESIGN GUIDELINES

A) INTRODUCTION

1. Purpose/Intent

The purpose of design guidelines to provide a tool for Springvale to preserve the village character and respect its sense of history for generations to come. These standards are put in place to assure that new development is designed and built in a manner compatible with the character of the Village in terms of scale and aesthetic/visual effect. They are meant to lead to the construction and layout of buildings that are architecturally appropriate to their surroundings and to the village, by helping property owners, developers, contractors and other professionals understand the community values which their designs must satisfy to be acceptable to the Town.

2. Creating Restrictions for the Village

The aesthetic standards or criteria within these guidelines are certainly restrictive to private owners, but it is important to remember two things: (1) in the big picture, these restrictions are being placed on only a small portion of the Town of Sanford, while there are other parts of town where development that is not Village appropriate can occur; and (2) there are numerous benefits to regulating design within the village, from maintaining property values to enhancing economic development, that make the case for adopting these guidelines for the Village.

3. Other Performance Standards/Guidelines

The focus of the design guidelines is to affect the visual and aesthetic character of Springvale Village, as related to the architecture and site layout/design of Village properties. This does not encompass all elements of site review. The Town's Site Plan Review process (within the Zoning Ordinance) covers other performance standards such as traffic, utilities, environmental impacts, etc, pertaining to non-residential development.

Village character is affected by changes in both the public realm and the private realm:

- ◆ Character in the public realm is addressed through the design of roadways, community buildings, parks, etc. (*in the Village Plan*)
- ◆ Character in the private realm is addressed through the establishment of guidelines/ordinances that target *new development* (*Village Design Guidelines*), and

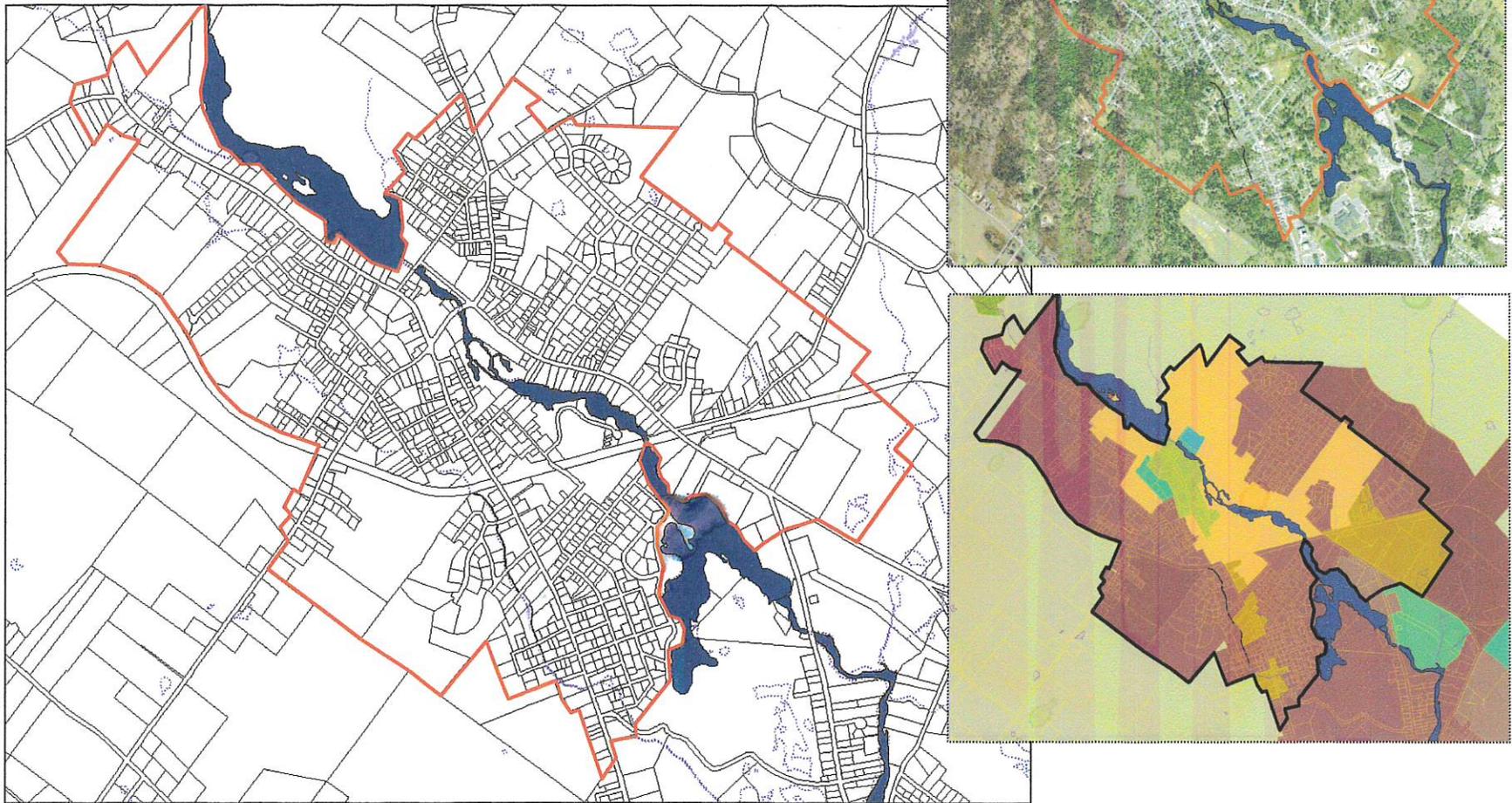
Through the creation of public programs & funding that encourage & support improvements to *existing development*

What Springvale's Guidelines Encompass:

- ◆ Residential
- ◆ Non-Residential
- ◆ New Development
- ◆ Renovations/Alterations to Existing Buildings

B) DESIGN GUIDELINES DISTRICT

A proposed “district” is shown below, the area in which the design guidelines should apply to new development. This area is based roughly upon the existing Village zones; this district would work either as an overlay strictly for the design guidelines, or could serve as a Village Zone (consolidating the current zones into a single zone) with the appropriate changes to the current ordinance.



Corridor Overlays

The main road corridors (right) entering into the Village, including Main Street, Pleasant Street, Payne Street, and Oak Street, are most likely to see non-residential development. These well-traveled routes are also the “face” of the Village most often seen by the public. These areas could have an additional corridor overlay to help ensure non-residential development is in keeping with the Village character.



C) GENERAL GUIDELINES

1. Character

These design guidelines are a tool to help ensure future development, or future alterations to existing development, is in keeping with the Village character. Non-residential or residential development should **maintain or improve** the visual/aesthetic character of Springvale Village.

2. Context

A building's or site's context is important to gauging "appropriate" design. A building or site must conform to the criteria within the Village Design Guidelines and must not appear out of place compared to the abutting properties or buildings, or the surrounding neighborhood. This is an important review criteria to consider, even though it may be more difficult to quantify.

3. Existing Structures

These standards are also intended as guidelines for renovation or construction of existing buildings within the Village. The standards apply to developers of projects within the Village, individual property owners wanting to build or renovate a Village property, and all public sector institutions that are major Village landowners. (See also Sanford Zoning Ordinance, Section 16.7.2, regarding *Historic Resources*.)

For existing structures:

- ♦ Historic or original architectural elements (such as doors, windows, dormers, porches, balconies, and decorative features such as cornices, columns, pediments, and railings) should be retained to the extent possible. Alterations should be carried out in a way that does not damage or hide these elements. New architectural elements should match the old in design, color, texture, and, where possible, material; and

DESIGN GUIDELINES COMPONENTS

Springvale's Design Guidelines include the following components for design review:

Architecture

- ♦ Building Mass, Scale & Height
- ♦ Architectural Style/Character
- ♦ Architectural Details
- ♦ Roofs
- ♦ Street Façades
- ♦ Entrances
 - Porches
- ♦ Proportion & Spacing of Openings (Windows, Doors)
- ♦ Windows & Window Treatments
- ♦ Exterior Building Materials
 - Paint & Exterior Colors
- ♦ Accessory Structures
 - Gas Station Canopies & Drive-throughs
- ♦ Signage

Site Features & Layout

- ♦ Setbacks & Building Placement
- ♦ Off-Street Parking
- ♦ Site Features & Landscaping
 - Pedestrian Walkways
 - Fences
 - Screening & Landscaping
 - Exterior Lighting

- ♦ Architectural elements that falsify or confuse the history of a building should be avoided. Replacement of original elements should be substantiated by documentary and physical evidence. Building owners should find early photographs of their building to best identify its true historic style. These photographs can provide visual evidence of existing or pre-existing architectural elements. It may also be possible to find physical evidence of an outline on the building surface that provides clues to original or important features.

Careful study of other buildings built in the same period can provide guidance for appropriate historic architecture. For repair of historic buildings, architectural salvage yards can be a good source for period architectural elements. Reproductions can also be produced or purchased. Property owners are encouraged to consult with the Sanford Historical Committee or Planning Office about the building and proposed modifications.



Additions

Historically, a house was expanded incrementally as a family's space requirements grew. Over several generations, additions were added in a manner that was consistent with what had come before but reflective of its own period. Additions should be designed so that the character of the existing building is not radically changed, obscured, damaged, destroyed, or rendered subordinate to the addition.

Additions should:

- ♦ be differentiated from the existing building (i.e., set back or off-set from the existing wall plane);
- ♦ not obstruct the visual integrity of the original structure;
- ♦ be in harmony with the original in size, scale, style and materials; and
- ♦ be located where least visible from public view.

Demolition & Replacement of existing structures

Demolition or replacement of a building or structure with architectural, historic or neighborhood significance is strongly discouraged. When such a structure is being considered for demolition or replacement, the Town should make it a priority to negotiate with the owner of the property and with any other parties in an effort to find a means of preserving the property. Such negotiations may include relocation to a new site, recommendation for a historic easement, or inducements to interested third parties to purchase the property for the purpose of preserving it.

Where a new building or structure will replace a building or structure to be demolished or removed, the Town's permission for demolition or removal should be conditional upon approval of the new structure by the Town.

For structures to be demolished or removed, its documentation is strongly encouraged. This should include elevations, details of specific notable architectural features, thorough measured drawings and photographs, in accordance with procedures established by the Historic American Building Survey.

Suggested resources for more on historic building demolition restrictions are the Historic District Guidelines for Concord, Massachusetts, or the Design Review Ordinance for Freeport, Maine.

D) GUIDELINES

1. Architecture

- 1.1 Building Mass, Scale & Height
- 1.2 Architectural Style/Character
- 1.3 Architectural Details
- 1.4 Roofs
- 1.5 Street Façades
- 1.6 Entrances
 - ◆ *Porches*
- 1.7 Proportion & Spacing of Openings (Windows, Doors)
- 1.8 Windows & Window Treatments
- 1.9 Exterior Building Materials
 - ◆ *Paint & Exterior Colors*
- 1.10 Accessory Structures
 - ◆ *Gas Station Canopies & Drive-throughs*
- 1.11 Signage

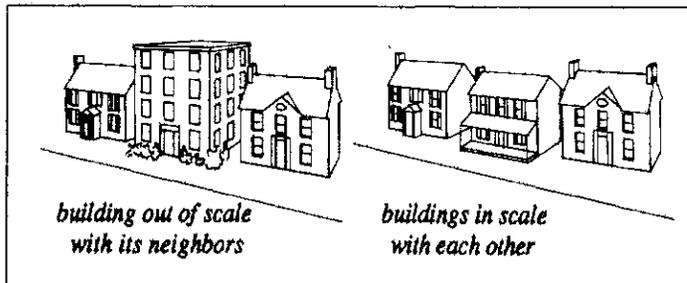
2. Site Features & Layout

- 2.1 Setbacks & Building Placement
- 2.2 Off-Street Parking
- 2.3 Site Features & Landscaping
 - ◆ *Pedestrian Walkways*
 - ◆ *Fences*
 - ◆ *Screening & Landscaping*
 - ◆ *Exterior Lighting*

1. ARCHITECTURE

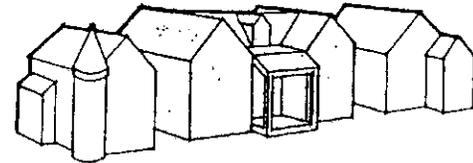
1.1 Building Mass, Scale & Height

- ◆ New buildings or additions to existing buildings should not be visibly out of scale with neighboring buildings, or otherwise out of scale with the Village.
 - Building heights shall be compatible with adjacent structures and not be markedly lower or higher.
 - The size or bulk of the building should conform with those nearby; larger buildings should be "broken down" architecturally to match the scale, rhythm and proportion of adjacent structures (see illustrations).

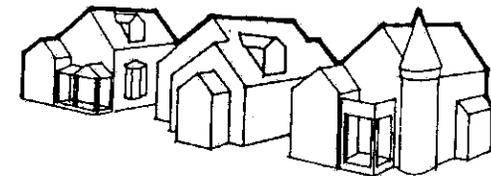
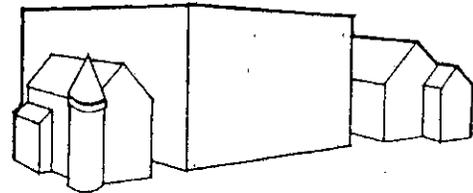


- Two to three story buildings are more traditional in downtowns and village centers, particularly serving mixed-uses, and are encouraged in the Village center.
- ◆ The following features should be considered as potential elements to help break down building scale:
 - Projecting bays, projecting or recessed balconies, and gables & dormers, judiciously utilized to provide interest, individuality, and appropriate scale to new structures.

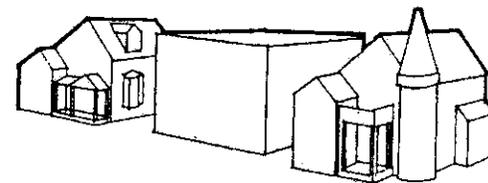
Consider—Relating the size and proportions of new structures to the scale of adjacent buildings. Although much larger than its neighbors in terms of square footage, the building shown maintains the same scale and rhythm as the existing buildings.



Avoid—Buildings that in height, width, or massing violate the existing scale of the area. The new building shown here disrupts the scale and rhythm of the streetscape, although it might be appropriate in a different location.



Avoid—Single, monolithic forms that are not relieved by variations in massing. Boxlike facades and forms are intrusive when placed in a streetscape of older buildings that have varied massing and facade articulation.



- Distinct and multiple architectural roof forms, clearly pronounced eaves, distinct parapet designs and cornice treatments.
- Porches, covered walkways, trellises or architectural awnings that provide varying degrees of shade and sun at ground level.

There is a range of scale of non-residential buildings in the Village. There are several larger scale, two to three story buildings in the Nasson Commons block (including the Key Bank building), while several of the newer commercial buildings are one story (such as the florist, hardware store, and other buildings at "Colonial Village"). Developers should be encouraged to maximize the market potential of sites by incorporating 1 ½, 2 or 3 story buildings, more traditional in scale for the Village center.



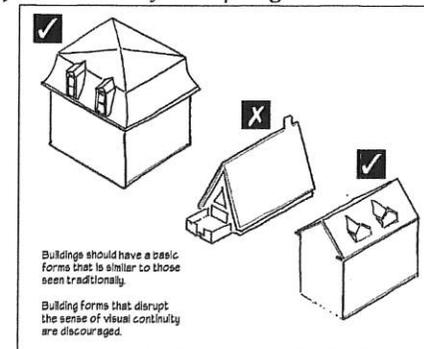
1.2 Architectural Style/Character

- ◆ Although there is some variation in architectural styles in the Village, new development should be done in a **traditional New England village architectural style** (see examples on the following pages).
- ◆ Building designs and treatments that express corporate or franchise (trademark) identity shall not take precedence over these design guidelines; such development shall conform to the historic and architectural considerations in these guidelines. Corporate or franchise developments shall be compatible with the visual character of the Village.

The building mass of Village Green and Springvale Commons buildings is broken down with the use of gables, the tower, and other architectural elements.



Buildings with unusual or non-traditional architectural forms detract from Springvale's character.



Architectural Style/Character

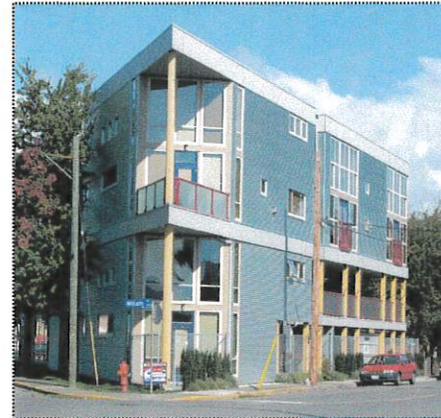
These are several of the buildings in the Village exemplify the architectural character that makes Springvale a special place.



Architectural Style/Character



New and redeveloped structures that demonstrate the type of architectural character appropriate to Springvale. To the left, multifamily housing; below, offices.



Modern styles of architecture (left), including "strip" development (below), would detract from the Village character. The forms, massing, and architectural details of buildings such as these are not appropriate to Springvale.



Below: More recent development in the Village that has demonstrated an appropriate architectural style that contributes positively to the Village character.

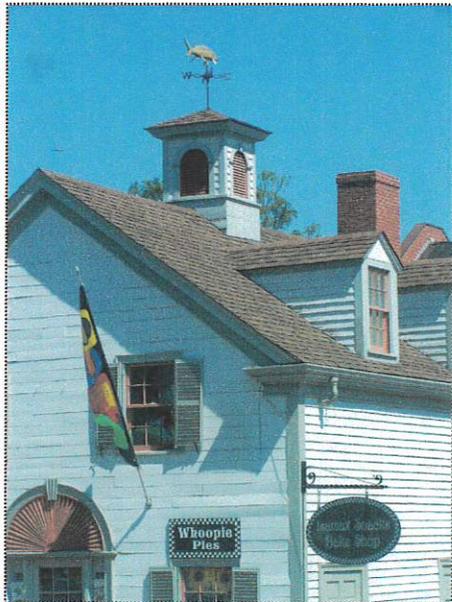


1.3 Architectural Details

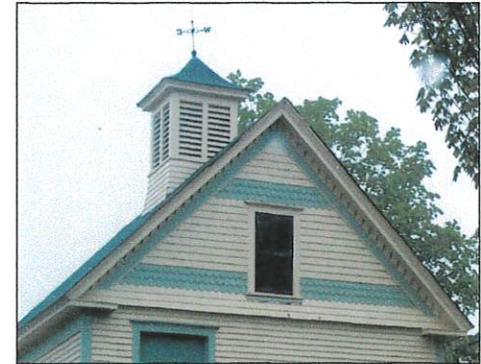
- ◆ Craftsmanship, ornamentation, and architectural details are strongly encouraged. Architectural details include the design features of such elements as doors, windows, dormers, porches and balconies, and decorative details such as cornices, columns, pediments, and railings, and similar features. Large or small, they play a key role in defining the style and character of a building and so deserve particular attention and respect.
- ◆ Detailing that relates to, and reflects the character of the area is encouraged. Vernacular architectural features help tie together the character of the village.

Below, left: Architectural details, from shutters and window styles to cupolas, dormers, and trim, give buildings character.

Below, right: A well-maintained building with good proportion and scale, but lacking architectural details to give it a unique character and style.

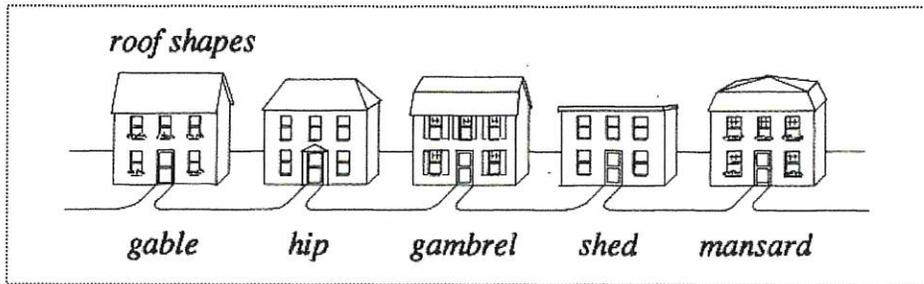


Residential and non-residential examples of the kind of architectural detail appropriate to the Village. Details such as these could be used to inform the design of new buildings.



1.4 Roofs

- ◆ Sloped gable or hip roofs are most appropriate for Springvale village. Gambrel, shed, mansard, "false mansard", or flat roofs are not appropriate.



- ◆ The angle of a sloped roof should be typical of traditional New England architecture (a 12:12 pitch). A sloped roof with a flattened pitch is not appropriate.
- ◆ Dormers are an effective way to break up the mass of a sloped roof and add architectural interest, and are a typical feature of New England architecture. They should be of an appropriate (small) proportion and size relative to the building.



A gable dormer (left) and shed dormer (right). Both are traditional dormer styles.

The diagram shows three roof types. The first is a gable roof with a checkmark. The second is a flat roof with a false mansard (a flat top section) with an X. The third is a gable roof with a checkmark. Text below the diagram states: "Sloping roofs, such as gable and hip, are appropriate." and "Fake mansards that disrupt the visual continuity of the street are discouraged."

Inappropriate roof types for the Village:

A photograph of a building with a flat roof and a false mansard. The building has a dark facade and a sign. A car is parked in front.

A flat roof with a "false mansard".

A photograph of a building with a very flat sloped roof. The building has a blue facade and a sign. A car is parked in front.

A sloped roof that is too flat.

- ◆ Where appropriate along Main Street or in the Village center, a flat roof may be permissible if the building is multi-story and of traditional downtown architecture (retail/pedestrian-oriented first floor, differentiated upper façade, articulated parapet & decorative cornice). Existing buildings of this style should be maintained for architectural (and/or historic) integrity.

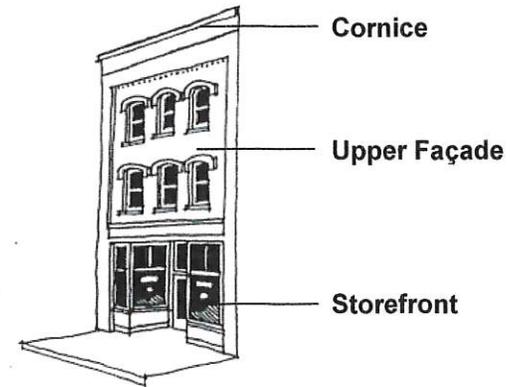
1.5 Street Façades

- ◆ A building's front façade, particularly the main entrance, should be oriented to the primary street frontage (e.g. Main Street). This applies to both residential and non-residential buildings. If the main entrance cannot be located along the primary street frontage, the front façade must be appropriately designed to contribute to the pedestrian friendly character of the Village.
- ◆ For buildings fronting on more than one street (a corner lot), the front façade should be oriented toward the primary street frontage, while a secondary entrance or other appropriate façade treatment is strongly encouraged for the side street.



Residential and non-residential examples of appropriate street-facing façades. The building on the right has a primary entrance on another side, but the front façade is appropriately designed for Main Street.

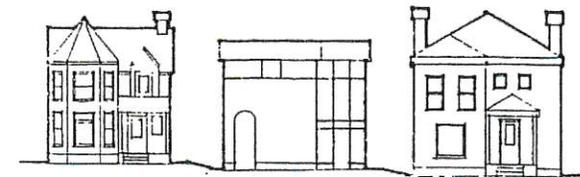
Architectural features of a traditional downtown façade.



A traditional, multi-story downtown building with a gable roof instead of a flat roof.

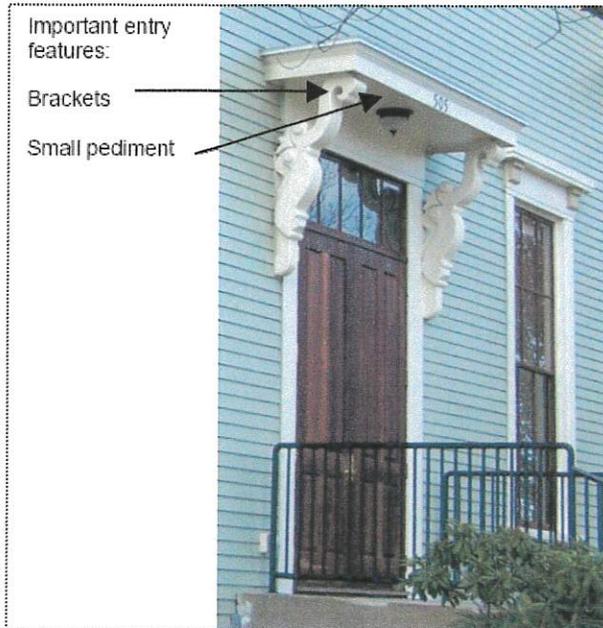


Avoid—Introducing incompatible façade patterns that upset the rhythm of openings established in surrounding structures. Glass walls and window and door shapes and locations shown in the example are disrespectful to the adjoining buildings.



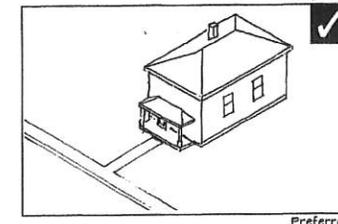
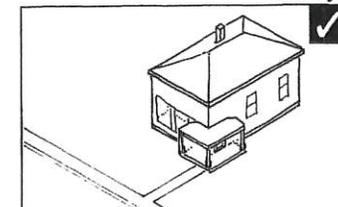
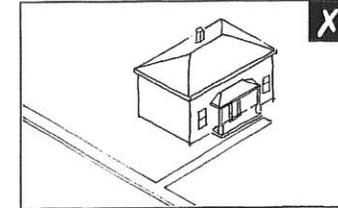
1.6 Entrances

- ◆ Principal building entrances shall be accentuated, and easily visible from the street, to contribute to the pedestrian friendly character of the Village. This may be achieved through the design of the doorway and doorway architectural treatments, by recessing the entry, or by adding a porch or pediment for the front door providing shelter and enhancing the entrance.
- ◆ Service entrances and loading facilities should be located at the rear or side of structures and screened from public view. Where buildings face more than one public street, service and loading circulation may be located along secondary streets where appropriate. Where no off-street options are available, loading and service entrances located along public streets should occupy the minimum space necessary and be compatible with the other uses of the street, including pedestrian activities and retail development.



Left: Architectural features accenting the doorway, such as a pediment and brackets, are an appropriate entrance treatment.

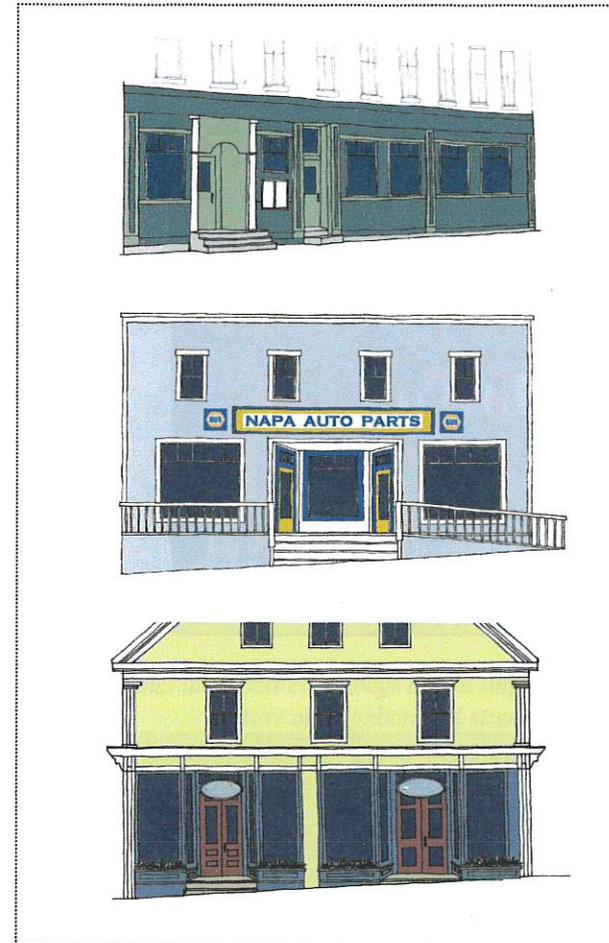
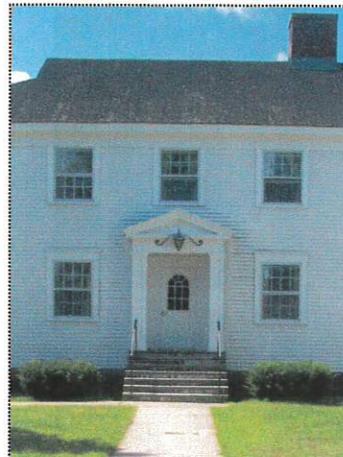
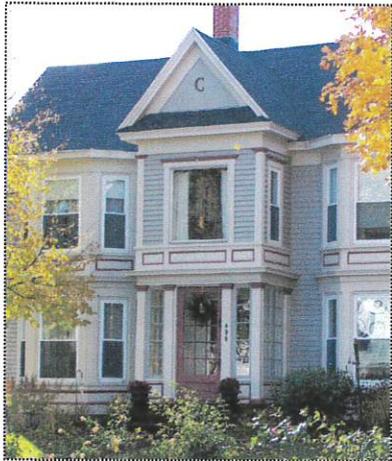
Locating the principal entrance to face the street is preferred.



A traditional front entrance, well emphasized by architecture and design.



Entrances



Above, left: Buildings in Springvale that show the different ways architectural elements are used to accentuate entrances (both residential and non-residential examples). Above, right: Sketches that illustrate color and architectural elements for non-residential entrances.

Below, left: A building whose entrance does not front on the main street appears to have “turned its back” to the road and pedestrians. Below, right: Strong architectural features can reinforce an entrance.



Porches

- ◆ Size, proportions, style, detailing, decorations, and features such as columns and railings are important elements of a porch design. Whether on a residential or non-residential building, the design should be consistent with the architecture and scale of the rest of that building. Other porches found in the Village should provide visual guidance for appropriate architectural design and features.
- ◆ Decks (elevated, with rail) and patios should be located at the rear or side of a building, and if visible from a public way should be compatible visually with the design of the structure. Appropriate vegetative screening should be considered.



A traditional wrap-around porch, with architectural detail and good proportion.



Porches and front entryways are an important design feature of neighborhood streets.



1.7 Proportion & Spacing of Openings (Windows, Doors)

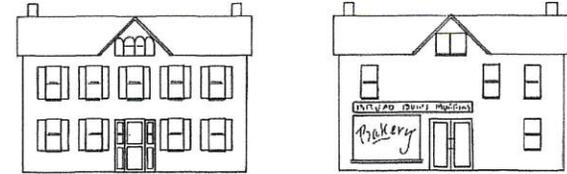
- ◆ Blank exterior walls without doors, windows, or other architectural features to break up a building's mass should be avoided. Street façades in particular should not be blank but have an appropriately rhythm of windows and doors.
- ◆ Windows and doors should be appropriately scaled, vertically oriented, and be placed in a regularly spaced pattern. Symmetry of openings on the street façade is traditional, though not essential.
- ◆ Where the interior layout or function of a building does not accommodate or require windows, the addition of false windows or other architectural elements may be an alternative. Also, the use of murals or plantings (trees & shrubs) for large blank façades may be an allowable alternative to adding windows or other architectural elements, however, the quality and subject of the mural should be carefully considered.



Left: No windows or architectural or landscaping treatment at street level, visually detracting and discouraging pedestrian activity. Right: Traditional window spacing and proportion for the Village.

Left: A traditional rhythm of openings, in scale with the building.

Right: A disrupted rhythm of openings, not well proportioned to the façade.



These façades have a rhythm of openings, but the size and spacing of the windows is out of scale with the buildings. The entrances are also under-emphasized.



1.8 Windows & Window Treatments

- ◆ Avoid modern window styles that are not compatible with traditional New England architecture.
- ◆ Windows should be square or vertical. Use divided panes to add scale to large window openings.
- ◆ The style of window should be consistent throughout the building or addition. Visual unity and harmony are usually achieved when the same window style and scale is used consistently on all visible facades.
- ◆ Shutters should reflect their original use. That is, their size should be such that they would cover the entire window if closed (arched windows should have arched shutters, etc.) Hang shutters so as to appear operable and base shutter dimensions on window dimensions. The slats should point up when shutters are open, and down when closed over the window.
- ◆ Awnings should not detract from the form of the building, or obscure its details. Traditional canvas awnings are encouraged, plastic or metal awnings are discouraged.

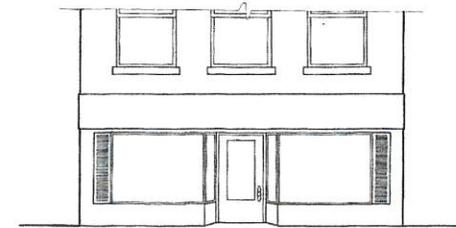
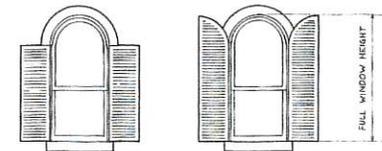


Left: A modern window style, less appropriate for the Village. Right: A traditional window style, appropriate for the Village.

Windows with traditional design and scale, including awnings for the first floor retail windows.



Shutters should be appropriate to the size and shape of the window.

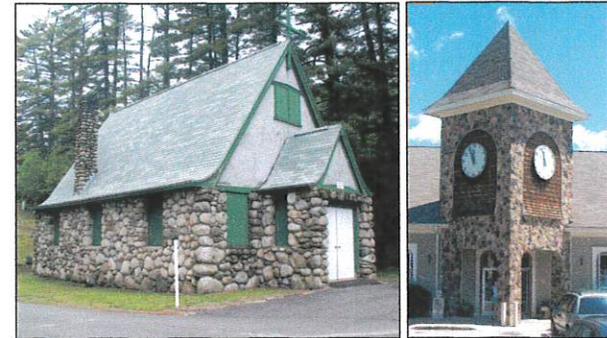


1.9 Exterior Building Materials

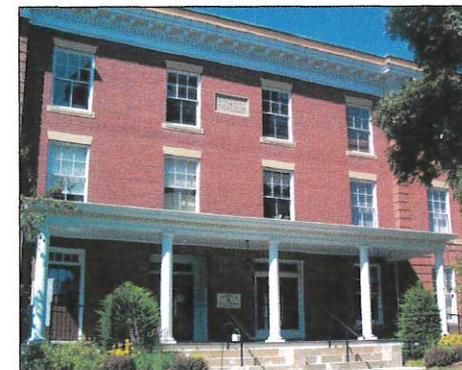
- ◆ Traditional exterior building materials, including wood clapboard, native stone, or brick, are most appropriate and strongly encouraged.
- ◆ Concrete block or metal siding are not appropriate; the use of concrete should be restricted to foundations. Shingle siding (cottage style) and stucco are not traditional for Springvale and are discouraged.
- ◆ Synthetic or imitation materials (such as vinyl siding) may be acceptable if they replicate traditional materials. As other new materials are developed that are indistinguishable from natural or traditional products, they will be considered more favorably.

Paint & Exterior Colors

- ◆ Traditional (New England) building colors are strongly encouraged (A, B). Bright or “electric” colors (C) are not suitable for siding or trim. Softer or muted colors, light or dark, tend to be more traditional. *(Many paint companies carry historic colors, and may offer assistance in choosing color, which may be a source of ideas when considering the exterior color palate.)* Matching colors with neighboring buildings is not necessarily encouraged, but choosing a color palate that does not clash with adjacent buildings should be considered.
- ◆ A well-selected color palate can greatly enhance a building’s character, in addition to architectural details (A, B). Appropriate accent colors should be chosen for the trim, doors, and other architectural elements.



Clapboard and brick are traditional building materials in the Village (below). Also, the use of stone (above) is seen throughout town.



1.10 Accessory Structures

- ◆ Accessory structures, for example a garage or shed, should be set back from street further than the front façade of the principal building so that that structure is more prominent.



Above: Even utility structures such as a pump station can have good architectural character.

- ◆ Adding trim, windows and other architectural details to accessory structures is strongly encouraged to bring them into scale and visual harmony with the principal building. For example, a garage

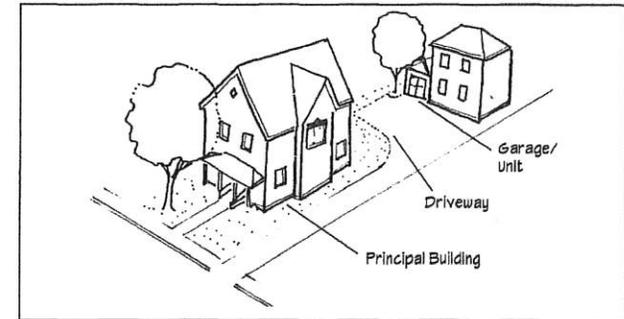
might feature the same siding, color scheme and trim, even window style, as the principal building.



Gas Station Canopies & Drive-throughs

- ◆ New or replaced canopies over gas pumps should be visually sensitive to the neighborhood in color and design. Use of bright colors is discouraged. Canopy design is encouraged to be architecturally compatible with the principal building (if appropriate) and the preferred Village architectural character described in these guidelines.
- ◆ Canopies and drive-throughs should be aligned to the building, and sited to conform to all other setback and traffic circulation requirements.

The traditional site layout: the primary structure (house or commercial building) close to the street, and the accessory structure set back further from the street.



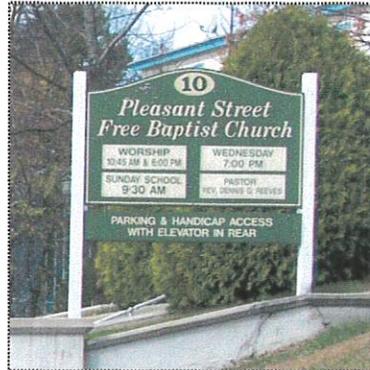
A typical gas station canopy (left), brightly colored and not relating to local architectural character. Even a color change can begin to make such a prominent feature more visually compatible.



1.11 Signage

See also sign provisions & permitting, Town of Sanford Zoning Ordinance Section 15.12.

- ◆ Sign material, style and color should compliment the building façade.
- ◆ Window signs or signs painted/etched onto a window should not cover more than 25 percent of the window.
- ◆ The font style is encouraged to be a historic/traditional lettering style; fonts and lettering that are overly ornate or otherwise unreadable are strongly discouraged.

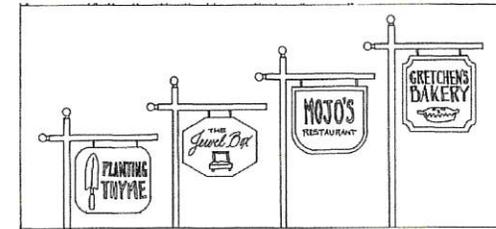


Sign styles or features not appropriate for the Village:

- ◆ Internally illuminated (translucent plastic) signs, flashing elements, or elements that move or change its brightness.
- ◆ Use of fluorescent (“neon”) colors.
- ◆ Signs attached or projecting from the roof.
- ◆ Signs that mask the architectural details of a building, or whose design dominates the building façade.

Sign styles or features appropriate for the Village:

- ◆ Wooden signs, or a sign material that has the look of traditional wood signage (such as vinyl) (see photos); although not common in the Village, traditional wrought iron sign posts or brackets may be appropriate.
- ◆ Hanging signs such as from a post or projecting from the building.
- ◆ Freestanding signs with two posts (see photos).
- ◆ Wall signs on building façades, placed just above the storefront and appropriately proportioned to the front façade.



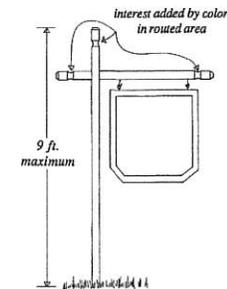
Though unified by common design elements, signs can still express the individual character of each business.

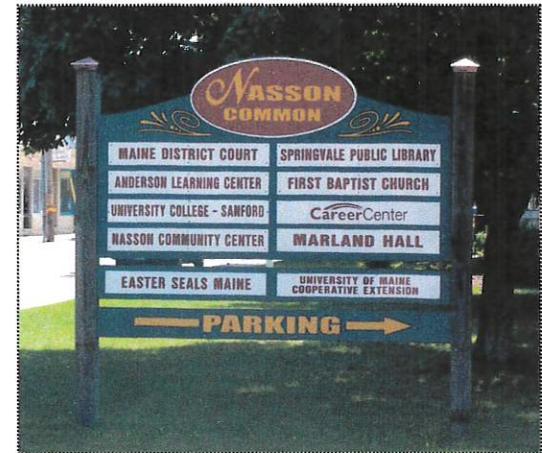


sign too busy with too much information



simple effective sign





Above: A common style in the Village for freestanding signs hanging from a single post. Below and right: Signs in the Village on two posts (wood or stone) with a style appropriate to the Village character.



2. SITE FEATURES & LAYOUT

2.1 Setbacks & Building Placement

- ◆ The front setback of new buildings should be consistent with neighboring buildings along the street and in the neighborhood; a new building should not appear out of place because it is placed much closer or further from the street than other buildings.
- ◆ If the appropriate road setback is uncertain, the general guideline is to keep buildings close to the road, as is typical of traditional village and downtown development.

2.2 Off-Street Parking

See also the off-street parking provisions in the Town of Sanford Zoning Ordinance, Section 15.11

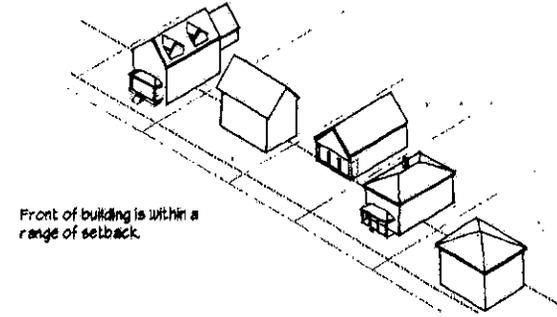
- ◆ On a building lot, the parking should be an accessory use to the principal structure, not a dominating feature of the site. Therefore, off-street parking lots should be sited behind or to the side of buildings. Parking (formal or informal) in the front yard of a residential or non-residential building is not appropriate and visually detracting.
- ◆ Off-street parking that is located to the rear of buildings should be identified with appropriate signage. Lighting and landscaping are encouraged sight improvements, in accordance with the Town's Ordinance.

2.3 Site Features & Landscaping

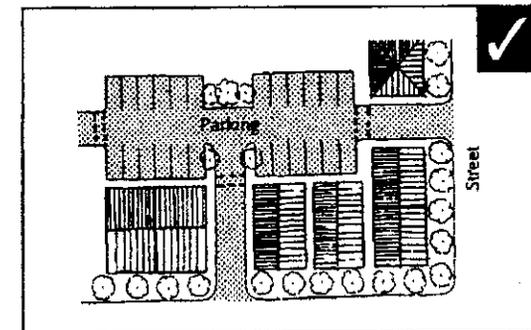
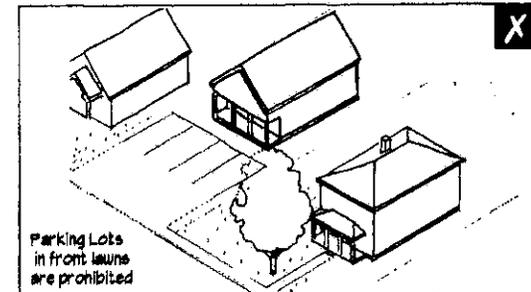
Pedestrian Walkways

See also the pedestrian circulation provisions in the Town of Sanford Zoning Ordinance, Site Plan Review, Section 17.7 Approval Criteria and Standards (e).

The front setback for a new building should be measured by neighboring and nearby setbacks.



Maintaining a consistent setback from the road goes hand in hand with keeping off-street parking behind or to the side of buildings.



- ◆ Walkways should provide safe, handicap accessible pedestrian connection between the building, parking, and the street. Connections to adjacent sites or developments should be provided where appropriate.



A well-designed pedestrian walkway, shown with a curb to keep vehicles off the path.

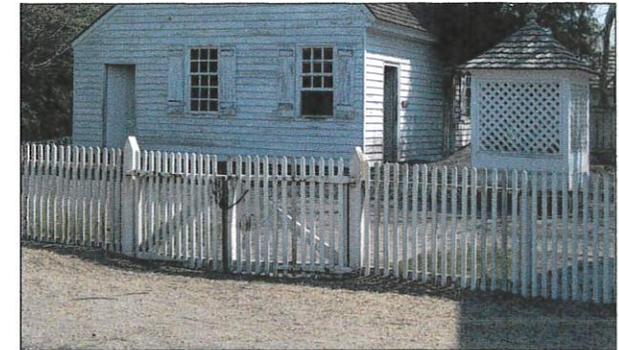
- ◆ Asphalt surfaces are predominant for walkways in the Village, but brick, pavers, stamped concrete, stone, and other materials should be considered to add character; maintenance to prevent cracks or shifting bricks/blocks from becoming eyesores or safety hazards must be considered.

Fences

- ◆ Traditional materials (wood, cast or wrought iron, or stone) are recommended. Metal or vinyl fencing that looks like traditional wood or iron fencing may be an acceptable alternative. Chain link fencing is not appropriate and detracts from the character of the Village.
- ◆ When a fence is proposed in front of a building, it should be open and low (not exceeding 42" in height) so as not to block the view. Fences should be compatible with the building and neighborhood in style and proportion, and should enhance the streetscape.
- ◆ More solid, taller fences are appropriate to provide privacy or safety but should be located where they have minimal visual impact



Some examples of traditional New England fencing styles, vinyl, iron, and wooden.



from public streets, ways or places. These fences should also be appropriate to the structure and surrounding area. Five to six feet is the recommended maximum height.

- ◆ Wherever fences are located, care should be taken to modulate the length so as not to create a visual or pedestrian barrier. Landscaping should be considered in combination with fencing to relieve the visual monotony of a long fence.

Screening & Landscaping

See also the landscaping and buffering provisions in the Town of Sanford Zoning Ordinance, Site Plan Review, Section 17.7 Approval Criteria and Standards (o, r).

- ◆ The setback area between a building and the street should be appropriately landscaped so as to contribute positively to the Village character and image. Lawn, planting beds, and/or plant containers are strongly encouraged. The use of native plant species is also encouraged.
- ◆ Paved or gravel surfaces, even if not for parking, are not appropriate for the front yard/setback area.
- ◆ In addition to fences (see above), stonewalls and hedges are appropriate site amenities. Examples of walls or hedges found in the Village should provide visual guidance for appropriate design.
- ◆ Landscaping and fencing must not block a vehicle's sight distance for a driveway or other service/access drive, and must allow for pedestrian access from the street to the building and access to off-street parking.
- ◆ Dumpsters or other trash bins should be sited to the rear of the primary building, and adequately screened with fencing and/or landscaping if not enclosed in a shed. Other unsightly site features, including utility equipment, should be screened to the extent possible, without compromising necessary access for maintenance.

The absence of landscaping, street trees, or planters gives this building an un-welcoming and unattractive image.



Good front yard landscaping and pathways are pedestrian friendly and contribute to Village character.





Left: Landscaping in front of businesses and in parking areas is already a part of the Village character. "Greening" the Village promotes pedestrian activity and improves private and public image.

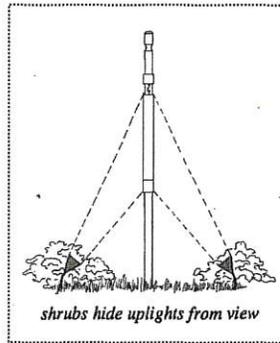


Screening or fencing dumpsters and utilities (above, top) is a simple but important site improvement. Leaving unsightly features unscreened (above, lower) can be remedied (while not sacrificing needed access for maintenance).

Lighting

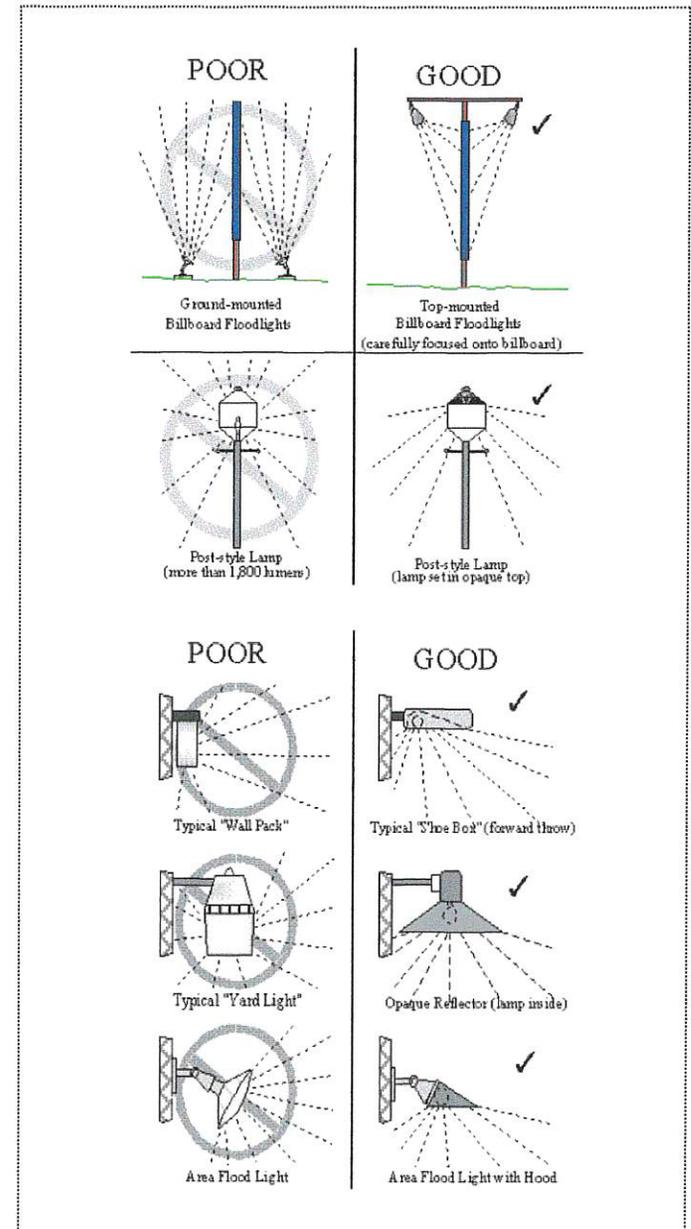
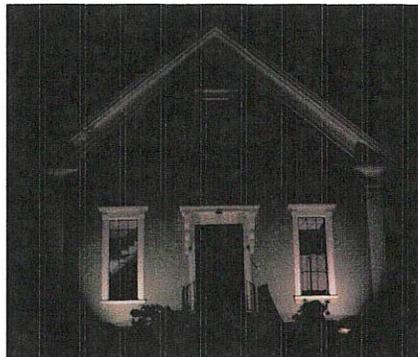
See also the lighting provisions in the Town of Sanford Zoning Ordinance, Site Plan Review, Section 17.7 Approval Criteria and Standards (m).

- ◆ These lighting design guidelines affect exterior light fixtures on a building, porch, deck, pathway, driveway, or on a post. Landscape, sign, or architectural lighting also applies.
- ◆ The intensity and distribution of light should be taken into account, particularly as it affects neighboring properties and the ambience of the neighborhood or district. While good lighting is important to safety and visibility, overly bright, glaring lighting detract from the Village character.
- ◆ Lamps (light bulbs), in general, should be fully shielded inside the fixture so that the lamp/bulb itself is not visible from adjacent buildings, pedestrians, and motorists. A carriage-lamp style light should have glass translucent enough to reduce glare.



Up-lighting and façade lighting

- ◆ Up-lighting, such as for facades, signs, fountains, and landscaping, should be minimized to reduce glare and light pollution. Lighting of building façades should be done judiciously, perhaps limited to special buildings that have architectural significance or character.
- ◆ For signage, lighting from the ground should be adequately shielded such as with landscaping.
- ◆ Landscape lighting such as “wash” lighting of trees is not appropriate within the Village.



3. RESOURCES

The following documents and/or their illustrations were used in producing the Springvale Village Design Guidelines:

1. *A Vision for Bar Harbor Village, A Downtown Master Plan & Design Guidelines for Bar Harbor Village.* January 2001.
2. *Brunswick Village Review Board Design Guidelines (Maine).*
www.brunswickme.org/planning/vrb/villagereviewboard.htm.
3. *Historic Districts Guidelines.* Concord Historic Districts Commission (Massachusetts). 2002.
4. *Historic District Guidelines for New Development.* Salt Lake City (Utah).
5. *Village Planning Handbook.* Bucks County Planning Commission (Pennsylvania). 1989.
6. *A Guide for Downtown Improvements.* Frankfort, Kentucky. 1981.

